

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
NOVEMBER 10, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) CONSENT AGENDA

(1) Approval of Minutes for the October 27, 2020 Planning and Zoning Commission meeting.

(2) **P2020-044 (DAVID GONZALES)**

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

(3) **P2020-046 (DAVID GONZALES)**

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

(IV) PUBLIC HEARING ITEMS

(4) **Z2020-043 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

(5) **Z2020-044 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

(6) **Z2020-045 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

(7) **Z2020-046 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

(8) **Z2020-047 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(V) ACTION ITEMS

(9) **SP2020-027 (HENRY LEE)**

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

(VI) DISCUSSION ITEMS

(10) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2020-036: Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition (**APPROVED**)
- P2020-037: Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition (**APPROVED**)
- Z2020-039: Text Amendment to Article 05, District Development Standards, of the UDC (**APPROVED; 1st READING**)
- Z2020-040: Text Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan (**APPROVED; 1st READING**)
- MIS2020-011: Special Request for 247 Chris Drive (**APPROVED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 6, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
OCTOBER 27, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:02 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
5 Jean Conway, Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller,
6 Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy
7 Williams and Civil Engineers Sarah Johnston and Jeremy White.

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9 II. OPEN FORUM

10 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
11 no one coming forward, Chairman Chodun closed the open forum.

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14 III. APPOINTMENTS

- 15
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for
17 items on the agenda requiring architectural review.

18
19 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
20 Architectural Review Board meeting.

21
22 IV. CONSENT AGENDA

- 23
24 2. Approval of Minutes for the October 13, 2020 Planning and Zoning Commission meeting.

25
26 3. **P2020-039 (DAVID GONZALES)**

27 Consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the
28 approval of a Master Plat and Open Space Master Plan for the Discovery Lakes Subdivision consisting of 428 single-family residential lots on a
29 316.315-acre tract of land identified as Tract 1 of the M. E. Hawkins Survey, Abstract No. 100 and Tract 2 of the R. K. Brisco Survey, Abstract No.
30 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for General Retail (GR) District and Single-Family
31 10 (SF-10) District land uses, generally located at the northeast corner of the intersection of SH-276 and Rochelle Road, and take any action
32 necessary.

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34 4. **P2020-040 (DAVID GONZALES)**

35 Consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the
36 approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract
37 of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned
38 Development District 78 (PD-78) for Single-Family 10 (SF-10) District land uses, generally located on the northside of SH-276 east of the
39 intersection of SH-276 and Rochelle Road, and take any action necessary.

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41 5. **P2020-043 (DAVID GONZALES)**

42 Consider a request by Tony Degelia of A & W Surveyors, Inc. on behalf of Siren Brewing Company, LLC for the approval of a Replat for Lot 2 of
43 the Cain Properties No. 1 Addition being a 1.233-acre parcel of land identified as Lot 1 of the Cain Properties No. 1 Addition, City of Rockwall,
44 Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and take any action necessary.

45
46 6. **P2020-045 (HENRY LEE)**

47 Consider a request by John F. Dudek for the approval of a Replat for Lot 57 of Chandler's Landing, Phase 2 being a 0.248-acre tract of land
48 identified as Lots 35 & 36 of Chandler's Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-
49 8) for single-family residential land uses, addressed as 428 Columbia Drive, and take any action necessary.

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51 7. **SP2020-026 (DAVID GONZALES)**

52 Consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of an
53 Amended Site Plan for a daycare center on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail
54 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses,
55 situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any
56 action necessary.

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58 8. **SP2020-029 (RYAN MILLER)**

59 Discuss and consider a request by Meg Murphy of Triton General Contractors on behalf of Jason Potts for the approval of an Amended Site Plan
60 to convert an existing restaurant into an office building on a 1.346-acre tract of land identified as Lot 16, Block A, La Jolla Pointe Addition, Phase
61 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated with the IH-30 Overlay (IH-30 OV) District, addressed as 560
62 E. IH-30, and take any action necessary.

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64 Vice-Chairman Jerry Welch made a motion to approve the consent agenda. Commissioner Mark Moeller seconded the motion which passed
65 by a vote of 7-0.

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V. ACTION ITEMS

9. MIS2020-013 (HENRY LEE)

Discuss and consider a request by James Best for the approval of a *Special Exception* to the material standards for residential fences to allow the construction of a masonry screening wall on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of a special exception to the fence standards of an existing infill. They are requesting to construct a pre-cast masonry fence but staff wanted to point out that there are no other masonry fences near the property. The typical for this kind of property are transparent fences such as wrought iron, picket, or split rail. The fence would go along the east side of the property adjacent to the alley and turn west to go 80-feet along Shadydale Lane. The Planning and Zoning Commission may consider these alternate materials or the alternative fence standards on a case-by-case basis. However, all of these requests are a discretionary decision for the Planning and Zoning Commission.

Commissioner Deckard wanted further clarification in regards to the fence.

Chairman Chodun asked the height of the fence.

Commissioner Womble asked if they would have to continue on with the same fence or would it be different along the way.

Commissioner Conway added that it did not detract from any continuity.

Vice-Chairman Welch asked if the City had not wanted to use this kind of fence due to the reaction of the soil.

Vice-Chairman Welch made a motion to approve MIS2020-013 with staff recommendations. Commissioner Conway seconded the motion which passes by a vote of 7-0.

10. MIS2020-014 (RYAN MILLER)

Discuss and consider a request by Sandie Wood for the approval of a *Special Exception* to the material standards for residential fences to allow a previously constructed chain-link fence on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Wade Drive, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. In 2019, the applicant applied for a Specific Use Permit (SUP) for this property for a guest quarters and secondary living unit but was ultimately withdrawn. However, shortly after in June 2019, the applicant submitted a building permit for a 6,350 square foot single-family home. Sometime during the construction of the home, a building inspector noticed that the applicant had constructed a 6-foot chain link fence on the southern property line. According to the building department staff, multiple conversations concerning the fencing of this property had taken place prior to and after the issuance of the building permit for the single-family home. During these conversations, Staff explained that a building permit would be required for any fencing on the property and the material requirements for residential fences. In addition, the significant amount of floodplain on this property was also discussed and that chain-link fencing was not permitted in those areas. On August 3rd, the applicant did submit for a building permit to get the fence permitted but that was denied on August 19th because chain link fencing is not allowed in a residential district. Replacements of existing chain link fences are allowed but only with black vinyl, mesh-coated chain link. New chain link fences are not permitted on any residential property. Ultimately the applicant did apply for a miscellaneous case in accordance with the Unified Development Code (UDC) which allows the Planning and Zoning Commission to consider alternative materials that are permitted and does not include chain link. Mr. Miller wanted to note that there is a barbed wire fence that was removed and then put back on the property. The reason why this is important is because barbed wire is not permitted inside the City and once it was removed from the property then it wasn't supposed to be out back. Mr. Miller explained that there were many recommendations made in regards to this request. Specifically, if the Planning and Zoning Commission does choose to approve this, that the applicant is required to remove the portions of the fence that are currently on the floodplain. Staff would like this done within 30 days as written in the case memo. Also if approved, Staff would like for the motion to include something in regards to removing the barbed wire fence. Mr. Miller then advised the Commission that Staff was present and available to answer any questions.

Commissioner Deckard asked the location of the barbed wire fence.

Commissioner Womble asked what was allowed in the floodplain.

Commissioner Deckard asked if there would be any materials that would be permitted in the floodplain.

Vice-Chairman Welch made a motion to deny MIS2020-014. Commissioner Womble seconded the motion which passed by a vote of 7-0.

VI. DISCUSSION ITEMS

11. Z2020-043 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing *Specific Use Permit* for the purpose of increasing the number of storage units permitted by *Ordinance No. 14-25* to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

132 Planner Ryan Miller advised that his applicant was present and had prepared a presentation for the Commission. He also advised that
133 Staff had prepared a case memo due to it being a unique circumstance.

134 Chairman Chodun asked the applicant to come forward.
135

136
137 Maxwell Fisher
138 2201 Main Street
139 Dallas, TX 75201
140

141 The applicant came forward and provided a presentation in regards to the request. He is basically asking the Commission to adjust and
142 align the SUP ordinance text to match with what is on the ground today. There is a 200 square foot difference on area along with the
143 difference in units. The ordinance states 579 units and the applicant is asking for 794 units. At the moment, there are 778 units used.
144

145 Mr. Miller added details in regards to the case. He stated that when this request came through, it was indicated on the SUP, the site plan,
146 the engineering plans, and the cover page of the building permit that the total overall would be 579 units. There is a discrepancy
147 between the numbers of units they counted on the building plans with what we counted. The applicants counted 27 units and
148 Staff counted 872 units. He also reminded the Commission that the current code only allows 125 units per acre. The applicants were
149 already approved for more than that at 203 units per acre.
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151 Commissioner Womble asked if there was any reason why this high of the number was not approved at the time of the original case based
152 on the discussion. Mr. Miller advised that he would provide the minutes from the original meeting to the Commission.
153

154 Vice-Chairman Welch asked what the ramifications of the property would be. Mr. Miller explained that the applicant was trying to sell the
155 property at the moment and the zoning right now does not allow for what they built. That is why the applicant is requesting to have the
156 Commission approve what they built so they can sell the property.
157

158 Commissioner Deckard asked how many units per acre were allowed.
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160 Commissioner Thomas asked if there was any discussion in regards to only the 579 units being approved or did the applicant
161 just build what they thought was to scale.
162

163 Commissioner Moeller asked for the minutes regarding this case when it was originally requested.
164

165 Commissioner Deckard asked how this case got to this point and how it got thru building inspections and other departments
166 without anybody noticing the discrepancy. He also asked what the ramifications would be if this is denied? The applicant said that they
167 would have to put people out and will have revenue reduced.
168

169 Chairman Chodun asked if the SUP mentioned the number of units and if it was presented during a public hearing.
170

171 Commissioner Conway stated that they felt like they have been pushed into a corner and pushed into a decision.
172

173 Chairman Chodun asked if maybe the city is somewhat culpable in the result of this case.
174

175 Vice-Chairman Welch asked how the city benefited from this value wise and tax wise.
176

177 Commissioner Thomas asked if there had been any changes such as additional units added since the original request.
178

179 After further discussion, Chairman Chodun asked if anyone had any further questions. There being none, Chairman Chodun
180 indicated the case will come back to the Commission on November 10, 2020 for discussion or action.
181

182 12. **Z2020-044 (HENRY LEE)**

183 Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP)
184 for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as
185 Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-
186 family residential land uses, addressed as 102 Thistle Place, and take any action necessary.
187

188 Due to the applicant not being present, Planner Henry Lee advised that this request would require a garage variance as the
189 garage is not setback 20-feet from the front facade. However, given the fact that this is in Chandlers Landing, this is not atypical for the
190 neighborhood.
191

192 Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back to
193 the Commission on November 10, 2020 for discussion or action.
194

195 13. **Z2020-045 (RYAN MILLER)**

196 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison
197 Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned
198 Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey,

199 Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District,
200 generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.
201

202 **Chairman Chodun asked the applicant to come forward.**

203
204 **Ryan Joyce**
205 **1189 Waters Edge**
206 **Rockwall, TX 75032**

207
208 **Adam Buzek**
209 **Skorburg Company**

210
211 **Mr. Buzek came forward and gave a brief summary in regards to his request. He added that it is 121-acres and it is a mixture of 60-70 foot**
212 **by 120-foot deep lots. Mr. Buzek added that this would be similar to Breezy Hill development.**

213
214 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back to**
215 **the Commission on November 10, 2020 for discussion or action.**
216

217 **14. Z2020-046 (HENRY LEE)**

218 Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a Specific Use
219 Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of land
220 identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8)
221 for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.
222

223 **Due to the applicant not being present, Planner Henry Lee explained that this request will also require a variance due to the garage being**
224 **in front of the front façade.**

225
226 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back to**
227 **the Commission on November 10, 2020 for discussion or action.**
228

229 **15. Z2020-047 (DAVID GONZALES)**

230 Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval
231 of a Zoning Change form an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-
232 acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned
233 Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.
234

235 **Chairman Chodun asked the applicant to come forward.**

236
237 **Mitchell Fielding**
238 **4232 Ridge Road, Suite 104**
239 **Heath, TX 75032**

240
241 **The applicant came forward and provided a brief summary in regards to the request.**

242
243 **Chairman Chodun asked what the future land use was for this property.**

244
245 **Planning and Zoning Manager David Gonzales added that they will be using OSSF (onsite sewer facilities). That will be an exception that**
246 **will be requested through City Council pending a recommendation from the Planning and Zoning Commission.**

247
248 **Commissioner Moeller asked about the fire issue with sprinklers due to the one way in/ne way out system.**

249
250 **Commissioner Conway asked if they had planned any walking trails to enhance the area.**

251
252 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back to**
253 **the Commission on November 10, 2020 for discussion or action.**
254

255 **16. P2020-044 (DAVID GONZALES)**

256 Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a
257 Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract
258 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for
259 Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard,
260 and take any action necessary.
261

262 **Chairman Chodun asked the applicant to come forward.**
263

264 Planning and Zoning Manager David Gonzales added that this case must go before the Parks Board due to it being a preliminary plat. This
265 item will come back on the Consent Agenda for the November 10, 2020 meeting.

266
267 **Pat Atkins**
268 **3076 Hays Lane**
269 **Rockwall, TX 75087**

270
271 **Mr. Atkins came forward and provided additional details in regards to the case.**

272
273 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back to**
274 **the Commission on November 10, 2020 for discussion or action.**

275
276 **17. P2020-046 (DAVID GONZALES)**

277 Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a
278 Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified
279 as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development
280 District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road
281 and John King Boulevard, and take any action necessary.

282
283 **Planning and Zoning Manager advised the Commission that one again this case must go before the Parks Board due to it being a**
284 **preliminary plat. This case will come back on the Consent Agenda for the November 10, 2020 meeting.**

285
286 **Chairman Chodun asked the applicant to come forward.**

287
288 **Humberto Johnson Jr.**
289 **8214 Westchester Drive, Suite 900**
290 **Dallas, TX 75225**

291
292 **The applicant came forward and was prepared to answer questions.**

293
294 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back**
295 **to the Commission on November 10, 2020 for discussion or action.**

296
297 **18. SP2020-027 (HENRY LEE)**

298 Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-
299 tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County,
300 Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection
301 of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.

302
303 **Planner Henry Lee explained that the ARB has approved this given that they flatten the roof projection and ask for a variance since it**
304 **does not meet their articulation standards.**

305
306 **Chairman Chodun asked the applicant to come forward.**

307
308 **Jimmy Strohmeyer**
309 **2701 Sunset Ridge**
310 **Rockwall, TX 75032**

311
312 **The applicant came forward and explained that the site plan was approved in 2016 and it did not change it but it did expire so he has to**
313 **bring it back. He then gave a brief summary in regards to it.**

314
315 **Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back**
316 **to the Commission on November 10, 2020 for discussion or action.**

317
318 **19. SP2020-028 (DAVID GONZALES)**

319 Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of
320 a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners
321 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated
322 at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

323
324 **Due to the applicant not being present, Planning and Zoning Manager David Gonzales provided a brief summary in regards to the**
325 **request. He explained that Staff will speak to the applicant about the changes that need to be made, the ARB concerns, and the variances**
326 **that must be requested. The applicant did submit an amended site plan that day but, based on the shot clock that Staff has with the**
327 **HB3167, the applicant may not meet the 30-day requirement. Staff will then discuss this issue with them and see if they are going to**
328 **withdraw the case and then resubmit it another time or if they are going to be able to make all the necessary changes that Staff is going**
329 **to require including what ARB is requesting.**

331 Commissioner Moeller asked about the fence around the daycare and its placement. He asked what kind of fence it would be and what
332 it would look like.

333
334 Chairman Chodun asked if anyone had any further questions; there being none, Chairman Chodun indicated the case will come back
335 to the Commission on November 10, 2020 for discussion or action.

336
337 20. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 338 • P2020-036: Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition [APPROVED]
- 339 • P2020-037: Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition [APPROVED]
- 340 • Z2020-039: Text Amendment to Article 05, District Development Standards, of the UDC [APPROVED; 1st READING]
- 341 • Z2020-040: Text Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan
- 342 [APPROVED; 1st READING]
- 343 • MIS2020-011: Special Request for 247 Chris Drive [APPROVED]
- 344
- 345

346 Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council
347 meeting.

348
349 VII. ADJOURNMENT

350
351 Chairman Chodun adjourned the meeting at 7:17 pm

352
353 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this
354 _____ day of _____, 2020.

355
356
357 _____
Eric Chodun, Chairman

358 Attest:

359 _____
360 Angelica Gamez, Planning and Zoning Coordinator
361



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 10, 2020

APPLICANT: Pat Atkins; *KPA Consulting*

CASE NUMBER: P2020-044; *Preliminary Plat for the Saddle Star North Subdivision*

SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King Boulevard, and take any action necessary.

PLAT INFORMATION

The purpose of the applicant's request is to preliminary plat the Saddle Star North Subdivision. This subdivision will be comprised of 92 single-family residential lots on a 44.56-acre tract of land. This development will be constructed in one (1) phase utilizing two (2) lot types that will consist of 50 *Type 'B' Lots (i.e. 80' x 125' or a minimum of 10,000 SF)* and 42 *Type 'C' Lots (i.e. 100' x 125' or a minimum of 12,500 SF)*. Staff should point out that the proposed preliminary plat reduces the number of lots allowed by *Ordinance No. 16-08 [Planned Development District 80 (PD-80)]* from 109 lots to 92 lots by eliminating the *Type 'A' Lots*. According to the ordinance, a total of 12 *Type 'A' Lots (i.e. 70' x 125' or a minimum of 8,750 SF)* were permitted. The preliminary plat also decreases the number of *Type 'B' Lots (i.e. the 80' x 125' lots)* from 79 to 64 and increases the number of *Type 'C' Lots (i.e. 100' x 125' lots)* from 18 lots to 28 lots. The total change in the lot count amounts to a net loss of 17 lots, which lowers the overall density of the development from 2.45-dwelling units per acre to 2.06 dwelling units per acre. Additionally, the amount of open space was increased from 12.59% (or 5.61-acres) to 14.6% (or 6.508-acres). Along with the preliminary plat, the applicant has also submitted preliminary drainage and utility plans demonstrating how the development can be adequately served. The following is the proposed lot composition of the Saddle Star North Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
<i>B</i>	<i>80' x 125'</i>	<i>10,000 SF</i>	<i>50</i>	<i>54.35%</i>
<i>C</i>	<i>100' x 125'</i>	<i>12,500 SF</i>	<i>42</i>	<i>45.65%</i>
			<i>92</i>	<i>100.00%</i>

The subject property was annexed by the City Council on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. On January 4, 2016, the City Council approved *Ordinance No. 16-08 [Case No. Z2015-035]* changing the zoning of the subject property from an Agricultural (AG) District to Planned Development District 80 (PD-80) for Single-Family 8.4 (SF-8.4) District land uses. On April 4, 2016, the City Council approved a master plat/open space plan [Case No. P2019-011] and a preliminary plat [Case No. P2016-010] for the Saddle Star North Subdivision. In accordance with Section 38-8(f)(2) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance, the applicant -- on March 28, 2017 -- requested that the Planning and Zoning Commission approve an extension of the preliminary plat and master plat. This was granted and extended these plats to August 15, 2018; however, due to inactivity these plats expired on August 15, 2018 in accordance with Section 38-8(f)(1) of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinance.

On November 3, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:

- (1) The developer shall pay pro-rata equipment fees of \$39,744.00 (*i.e.* \$432.00 x 92 lots), which will be due at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$41,952.00 (*i.e.* \$456.00 x 92 lots), which will be due at the time of final plat.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Planned Development District 80 (PD-80), the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for the *Saddle Star North Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* *Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	NW/ FM 552 /John King		
Subdivision	Saddle Star North - <u>44.56</u>	Lot	Block
General Location	NW/ FM 552 /John King		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Plan Development <u>102015-084-80</u>	Current Use	Ag	
Proposed Zoning	Plan Development <u>80</u>	Proposed Use	Single Family	
Acreage	<u>44.56</u>	Lots [Current]	1	Lots [Proposed]
				92

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	CDGT / <u>Rockwall / 2016 LLC</u>	<input type="checkbox"/> Applicant	KPA Consulting
Contact Person	Pat Atkins	Contact Person	Pat Atkins
Address	3076 Hays Ln.	Address	3076 Hays Ln.
City, State & Zip	Rockwall, TX 75087	City, State & Zip	Rockwall, TX 75087
Phone	972-388-6383	Phone	972-388-6383
E-Mail	kpatatkins@gmail.com	E-Mail	kpatatkins@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

SADDLE STAR LAND DEVELOPMENT L.L.C./KPA CONSULTING

3076 HAYS LN.-ROCKWALL,TEXAS 75087-PAT ATKINS-DIRECTOR

10-16-20

RYAN C. MILLER AICP , DAVID GONZALES AICP

DIRECTOR OF PLANNING /CITY OF ROCKWALL

385 S. GOLIAD STREET

ROCKWALL,TEXAS 75087

RE:

SADDLE STAR NORTH-44.56 ACRES – OWNER – C.D.G.T.-2016 L.L.C.

ROCKWAL ,ROCKWALL COUNTY , TEXAS

DEAR MR. MILLER ,GONZALES

WE ARE THE SAID AUTHORIZED REPRESENTATIVES OF THE OWNERS OF THE 44.56 ACRE IN ROCKWALL,
ROCKWALL COUNTY.

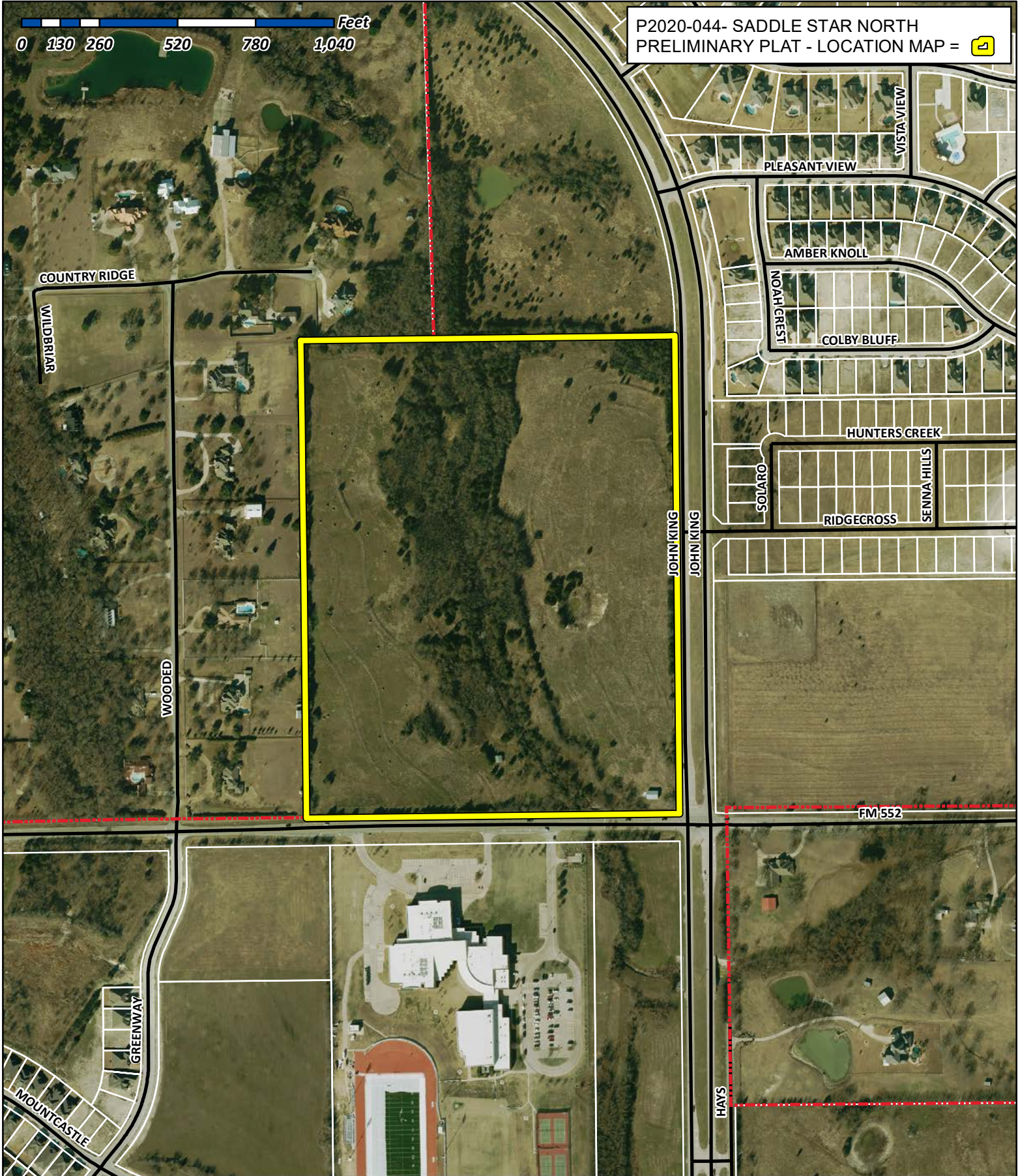
WE HEREBY AS AUTHORIZED AGENT, PAT ATKINS DIRECTOR OF SADDLE STAR LAND DEVELOPMENT
L.L.C.,TO PURSUE APPROVAL OF THE PRELIMINARY PLAT APPLICATION,ENCLOSED THE FOLLOWING:

- A. APPLICATION
- B. FILING FEE
- C. PRELIMINARY ENGINEERING
- D. BOUNDARY SURVEY

SINCERELY



PAT ATKINS-DIRECTOR-SADDLE STAR /KPA CONSULTING



P2020-044- SADDLE STAR NORTH
 PRELIMINARY PLAT - LOCATION MAP =

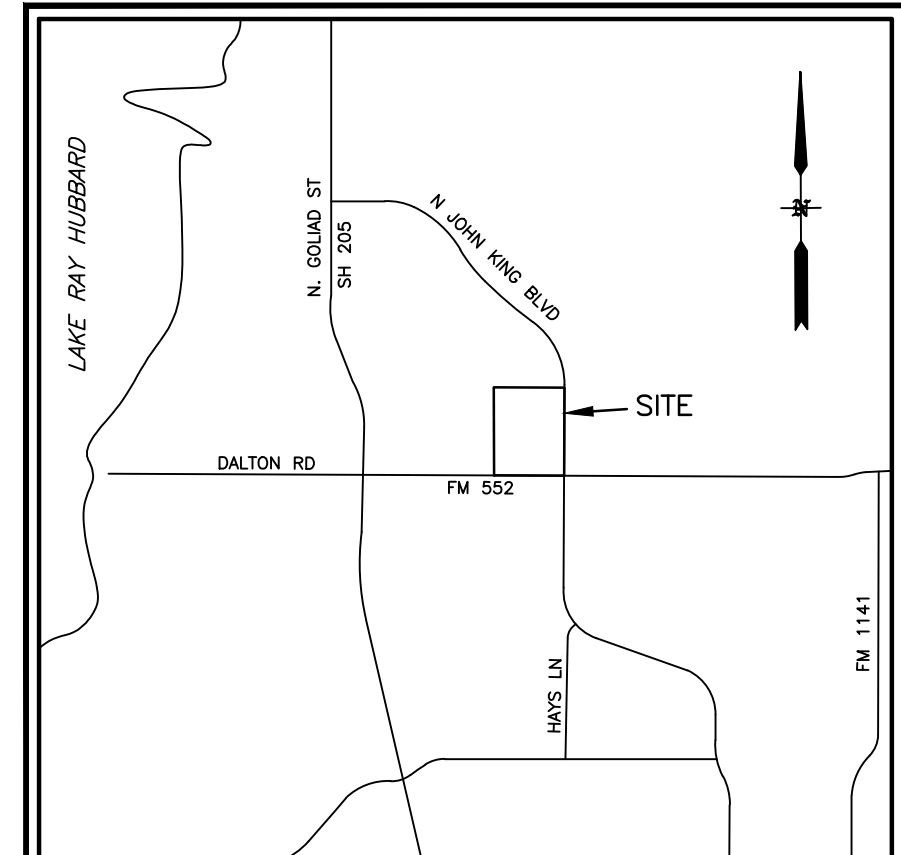


City of Rockwall

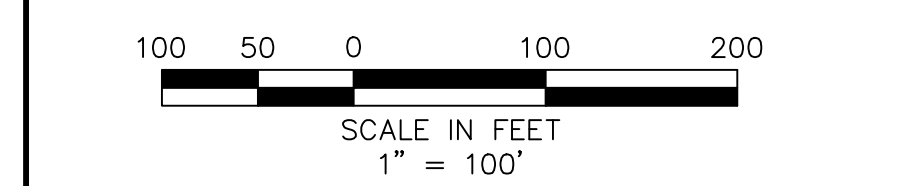
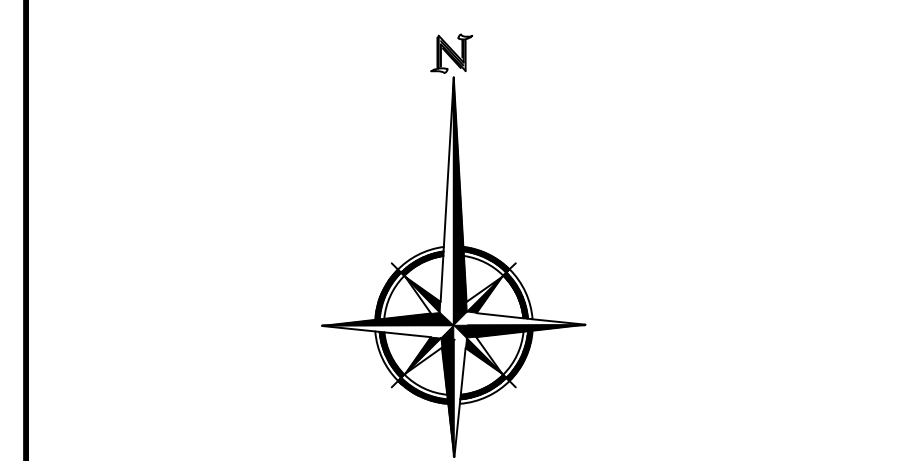
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.



LEGEND

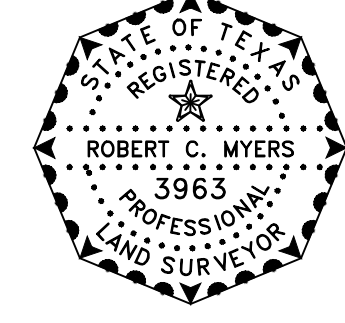
- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- S.S.E. SANITARY SEWER EASEMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. SIDEWALK AND VISIBILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◆ INDICATES CHANGE IN STREET NAME



LINE TABLE			CURVE TABLE						
NO.	DIRECTION	DISTANCE	CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
L1	S 00°38'07" E	100.00'	C1	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'
L2	S 42°45'25" W	32.76'	C2	19°07'13"	300.00'	50.53'	100.11'	S 17°34'44" E	99.65'
L3	S 00°37'21" E	32.50'	C3	13°55'57"	300.00'	36.66'	72.95'	S 82°18'19" W	72.77'
L4	N 45°40'32" W	31.79'	C4	30°49'04"	600.00'	165.37'	322.72'	S 74°04'11" W	318.85'
L6	N 70°51'26" E	23.74'	C5	82°07'37"	20.00'	17.43'	28.67'	S 49°05'06" W	26.28'
L7	N 14°39'39" W	25.13'	C6	76°56'59"	20.00'	15.89'	26.86'	N 37°57'12" E	24.89'
L8	N 60°21'40" W	25.89'	C7	28°10'13"	57.50'	47.38'	282.02'	S 64°04'55" E	73.13'
L9	N 90°00'00" W	28.18'	C8	279°49'15"	57.50'	48.40'	280.82'	N 62°26'49" E	74.06'
L10	N 89°28'43" E	27.50'	C9	130°05'06"	57.50'	123.55'	130.55'	S 30°44'29" W	104.26'
L11	S 20°28'40" W	20.00'	C10	279°27'47"	57.50'	48.71'	280.46'	S 32°15'08" E	74.33'
L12	N 52°00'06" W	25.00'	C11	180°05'28"	57.50'	72417.67'	180.73'	N 56°15'57" W	115.00'
L13	N 81°56'00" W	32.64'	C12	158°29'46"	57.50'	302.81'	159.06'	S 44°19'28" W	112.98'
L14	S 00°43'43" E	62.50'	C13	277°29'41"	57.50'	50.43'	278.48'	N 49°22'11" W	75.83'
			C14	308°27'25"	57.50'	27.76'	309.56'	S 81°58'52" W	50.00'
			C15	161°50'35"	57.50'	359.85'	162.42'	S 47°14'35" E	113.56'
			C16	23°16'33"	275.00'	56.64'	111.72'	N 15°30'04" W	110.95'
			C17	23°16'33"	300.00'	61.79'	121.87'	N 15°30'04" W	121.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
 That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
 GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF OCTOBER, 2020.
 Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. This preliminary plat is released on February 2016 for review by the City and other parties for comments and progression to an approved preliminary plat.
 ROBERT C. MYERS
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 3963



- Notes:
- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
 - A 5/8" iron rod with a yellow cap stamped RPLS 3963 shall be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
 - By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 - All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - The Open Space Lots to be maintained by the Homeowners Association (HOA).
 - Drainage/Retention and floodplain on site to be maintained by the HOA.

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

PRELIMINARY PLAT
 Star No. PP2020-044

SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES

SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3078 HAYS LANE
 ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmsurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

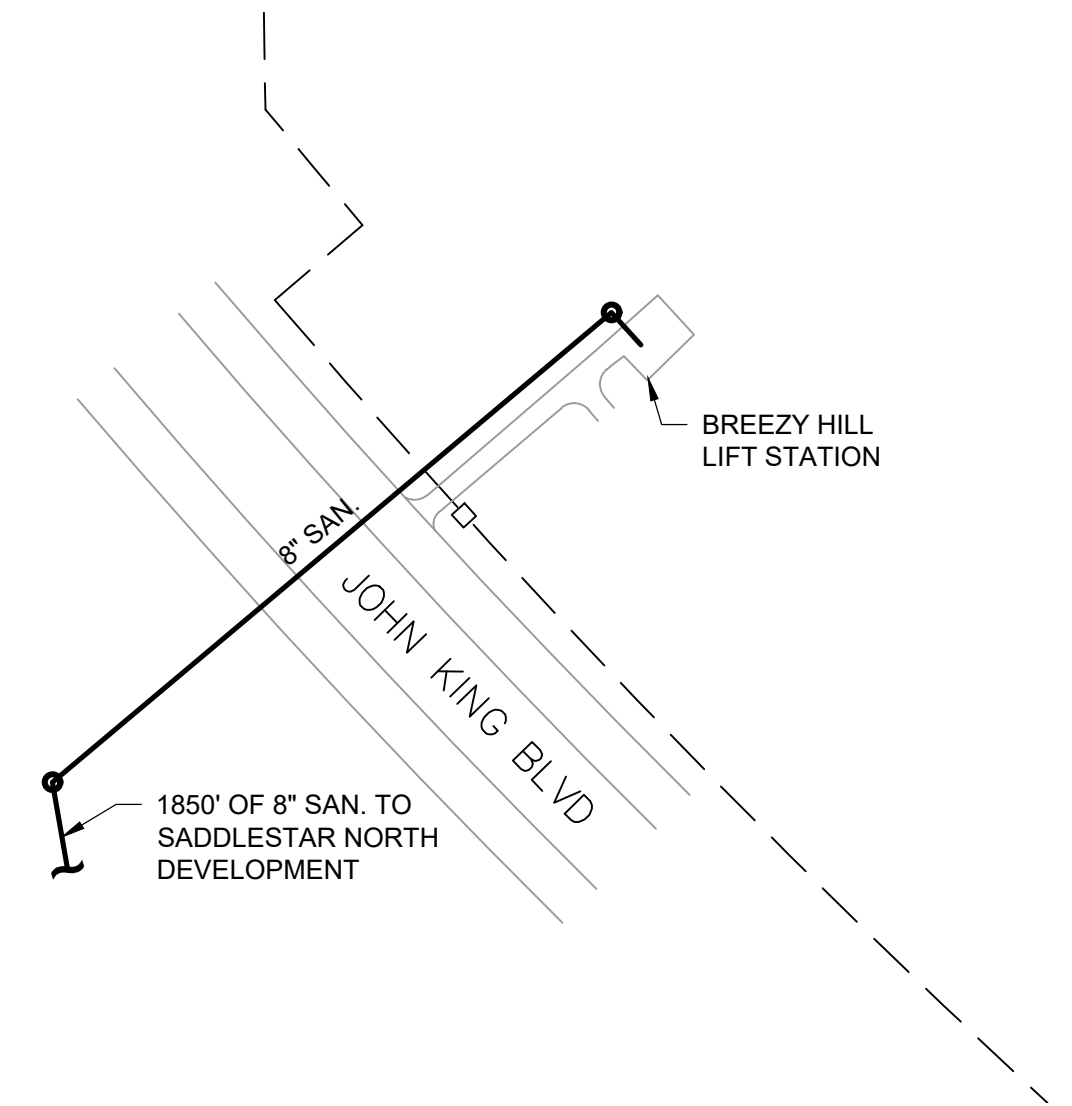
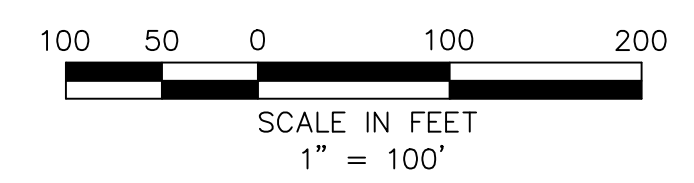
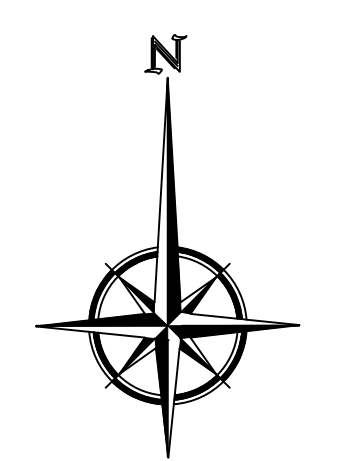
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLLIE, TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401

DATE: NOVEMBER 03, 2020 CASE NO. PP2020-044 SHEET 1 OF 2

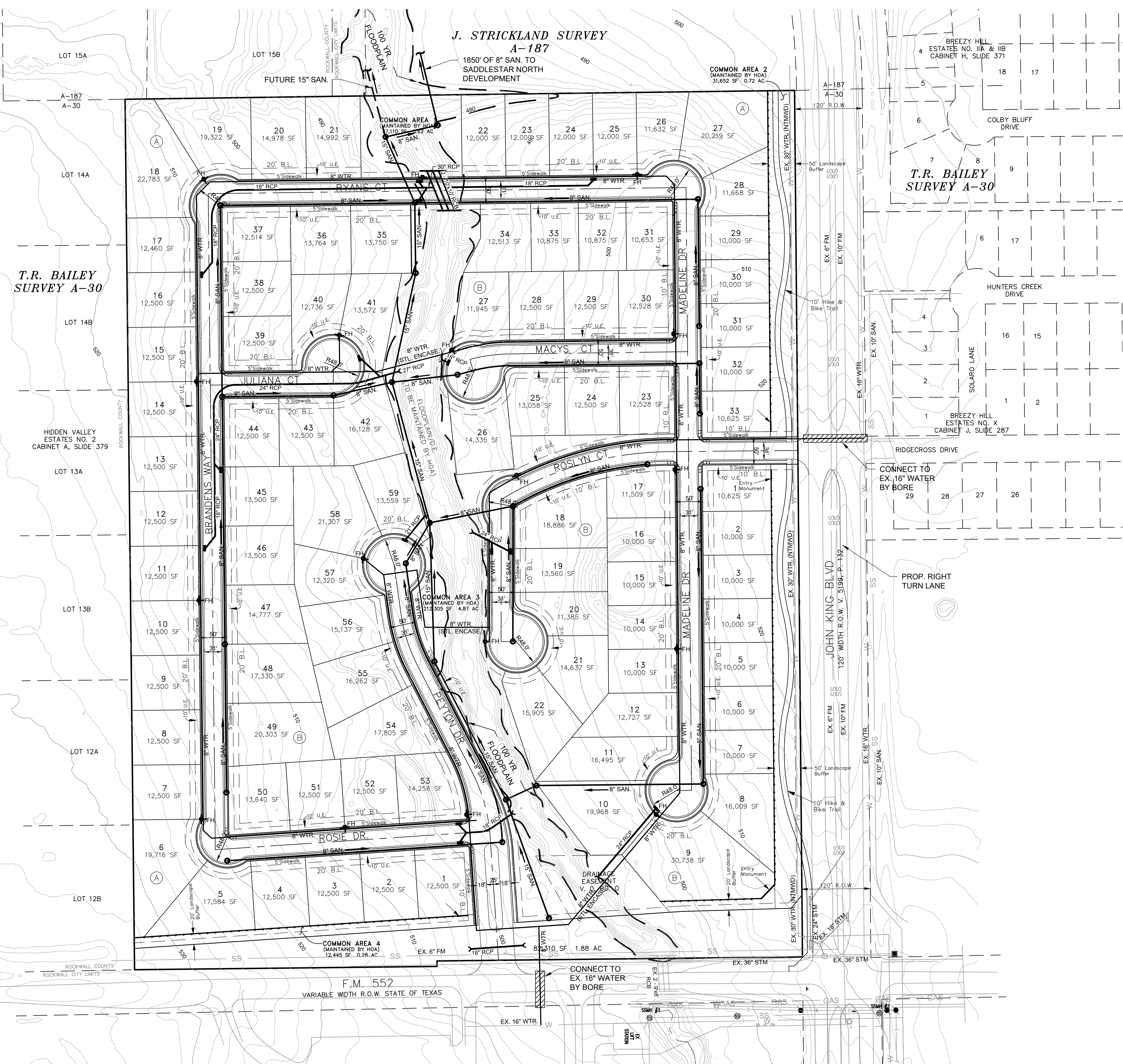
T.R. BAILEY SURVEY A-30

J. STRICKLAND SURVEY A-187

T.R. BAILEY SURVEY A-30



BREEZY HILL LIFT STATION SITE



ZONING DISTRICT: PD-80
 OPEN SPACE = 6.508 AC.
 92 DWELLING UNITS
 2.06 UNITS PER ACRE

PRELIMINARY PLAT
 Case No. PP2020-044
SADDLE STAR ESTATES NORTH

92 SINGLE FAMILY LOTS
 4 COMMON AREA TRACTS
 44.56 ACRES
 SITUATED IN THE
 T.R. BAILEY SURVEY, A-30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
SADDLE STAR DEVELOPMENT, LLC
 3076 HAYS LANE
 ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4875
 EMAIL: rcmsurveying@gmail.com
 FIRM NO. 10192300 JOB NO. 510

ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 00145
 201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
 (972) 941-8400 FAX (972) 941-8401

DATE: OCTOBER 29, 2020 CASE NO. PP2020-044 SHEET 2 OF 2

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

Parcel Map Check Report

Prepared by:

Survey Department

Engineering Concepts & Design, LP

201 Windco Circle, Suite 200

Date: 10/15/2020 6:01:27 PM

Parcel Name: Overall of Saddle Star North

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,040,379.0328' East: 2,595,082.5768'

Segment# 1: Line

Course: N 0° 37' 21.0" W Length: 1,591.147'

North: 7,041,970.0859' East: 2,595,065.2898'

Segment# 2: Line

Course: N 89° 11' 30.0" E Length: 440.166'

North: 7,041,976.2956' East: 2,595,505.4120'

Segment# 3: Line

Course: N 89° 16' 17.0" E Length: 783.855'

North: 7,041,986.2633' East: 2,596,289.2036'

Segment# 4: Line

Course: S 0° 31' 16.6" E Length: 1,583.758'

North: 7,040,402.5709' East: 2,596,303.6125'

Segment# 5: Line

Course: S 89° 21' 53.0" W Length: 668.302'

North: 7,040,395.1611' East: 2,595,635.3515'

Segment# 6: Line

Course: S 0° 38' 07.0" E Length: 9.999'

North: 7,040,385.1627' East: 2,595,635.4624'

Segment# 7: Line

Course: S 89° 21' 53.0" W Length: 552.919'

North: 7,040,379.0323' East: 2,595,082.5774'

Perimeter: 5,630.147' Area: 1,940,502 Sq.Ft.

Error Closure: 0.0008 Course: S 49° 37' 48.0" E

Error North : -0.00055 East: 0.00064

Precision 1: 7,037,682.50



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 10, 2020

APPLICANT: Humberto Johnson; *Skorburg Co.*

CASE NUMBER: P2020-046; *Preliminary Plat for Phase 2 of the Gideon Grove Subdivision*

SUMMARY

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

PLAT INFORMATION

The purpose of the applicant's request is to preliminary plat Phase 2 of the Gideon Grove Subdivision. This phase of the subdivision is comprised of 84 single-family residential lots on a 30.36-acre tract of land, of which 7.45-acres (*i.e.* 24.55%) will be reserved for open space. This development will be constructed utilizing two (2) lot types that will consist of 53 *Type 'A' Lots* (*i.e.* 60' x 120' or a minimum of 7,000 SF) and 31 *Type 'B' Lots* (*i.e.* 70' x 120' or a minimum of 8,400 SF). In addition to the preliminary plat, the applicant has also submitted preliminary drainage and utility plans showing how the development can be adequately served. With this submittal, the applicant also submitted a preliminary landscape and treescape plan; however, these plans will not be finalized until the PD Site Plan. The following is the proposed lot composition of Phase 2 of the Gideon Grove Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
A	60' x 120'	7,000 SF	53	63.10%
B	70' x 120'	8,400 SF	31	36.90%
			84	100%

- The subject property was annexed by the City Council on April 16, 1998 by *Ordinance No. 98-10*. On May 1, 2017, the City Council approved *Ordinance No. 17-25 [Case No. Z2017-007]* changing the zoning of the subject property from an Agricultural (AG) District to Planned Development District 84 (PD-84) District for Single-Family 7 (SF-7) District land uses.
- On November 3, 2020, the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:
- (1) The developer shall pay pro-rata equipment fees of \$41,076.00 (*i.e.* \$489.00 x 84 lots), which will be due at the time of final plat.
 - (2) The developer shall pay cash-in-lieu of land fees of \$43,344.00 (*i.e.* \$516.00 x 84 lots), which will be due at the time of final plat.
- The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Planned Development District 84 (PD-84), the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of

Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.

- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Phase 2* of the *Gideon Grove Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The landscape and treescape plans shall be resubmitted and approved along with the PD Site Plan;
- (3) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (4) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2820-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **PROPERTY ID #10188, JOHN KING BLVD. - A PORTION OF TRACT 1-01 OR THE S.R. BARNES SURVEY, ABSTRACT NO. 13**

Subdivision **GIDEON GROVE - PHASE 2** Lot Block

General Location **ALONG THE SOUTH SIDE OF JOHN KING BLVD, NEAR THE INTERSECTION WITH E. QUAIL RUN ROAD.N WITH E. QUAIL RUN ROAD.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	ORD. NO 17-25, PD-84	Current Use	VACANT / AGRICULTURAL
Proposed Zoning	ORD. NO 17-25, PD-84	Proposed Use	SINGLE-FAMILY RESIDENTIAL
Acreage	30.337 AC	Lots [Current]	1
		Lots [Proposed]	84

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	Gideon Grove Addition 2, Ltd., a Texas Limited Partnership By: Gideon Grove Addition 2 GP Corporation, a Texas Corporation, its General Partner	<input checked="" type="checkbox"/> Applicant	Skorburg Company
Contact Person	John Arnold	Contact Person	Humberto Johnson, Jr.
Address	8214 Westchester Drive, Suite 900	Address	8214 Westchester Drive, Suite 900
City, State & Zip	Dallas, TX 75225	City, State & Zip	Dallas, TX 75225
Phone	214-522-4945	Phone	214-888-8857
E-Mail	jarnold@skorburgcompany.com	E-Mail	jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Arnold [Owner] the undersigned, who stated the information on this application to be true and certified the following:

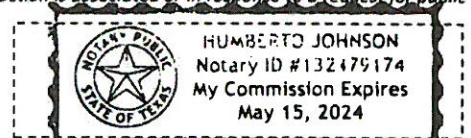
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$655.06, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of October, 2020.

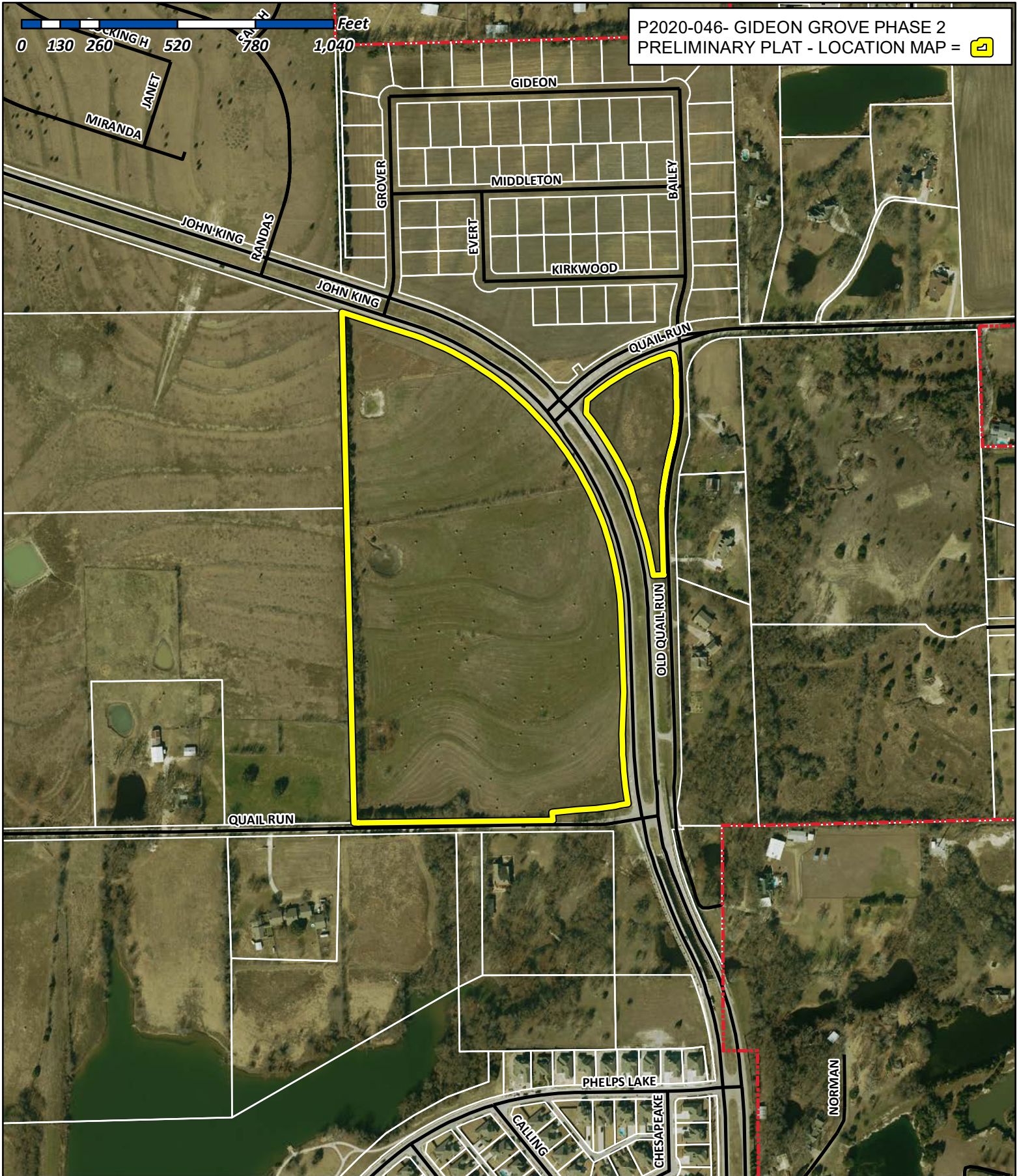
Owner's Signature

Notary Public in and for the State of Texas

[Signature]
[Signature]



My Commission Expires 05/15/2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



EXHIBIT "A"

A tract of land in the S.R. Barnes Survey, Abstract No. 13, Rockwall County, Texas, part of that called 80 acres described in a deed to Lonnie L. Gideon recorded in Volume 307, Page 256 of the Deed Records of Rockwall County, Texas, and further described as follows:

Beginning at the intersection of the west line of said 80 acres with the south line of S.H. 205 By-Pass, said point bearing South 01 deg. 23 min. 44 sec. East, 885.84 feet from a 3/8 inch steel rod found at the northwest corner of said 80 acres;

Thence along the line of S.H. 205 By-Pass as follows:

South 72 deg. 05 min. 21 sec. East 225.92 feet to a ½ inch steel rod set at a point of curve;

Southeasterly 1274.04 feet along a curve to the right having a radius of 1040.00 feet and a central angle of 70 deg. 11 min. 23 sec. (Chord bears South 36 deg. 59 min. 40 sec. East, 1195.86 feet) to a ½ inch steel rod set;

South 01 deg. 53 min. 59 sec. East 243.24 feet to a ½ inch steel rod set;

South 02 deg. 35 min. 02 sec. West 140.71 feet to a ½ inch steel rod set;

South 01 deg. 53 min. 59 sec. East 41.83 feet to a ½ inch steel rod set;

Southeasterly 191.03 feet along a curve to the left having a radius of 1571.00 feet and a central angle of 06 deg. 58 min. 01 sec. (Chord bears South 05 deg. 22 min. 59 sec. East, 190.91 feet) to a ½ inch steel rod set;

South 81 deg. 07 min. 40 sec. West 25.65 feet to a point;

South 10 deg. 47 min. 13 sec. East 26.00 feet to a point;

South 79 deg. 12 min. 47 sec. West 17.32 feet to a point;

Southwesterly 131.03 feet along a curve to the right having a radius of 742.50 feet and a central angle of 10 deg. 06 min. 40 sec. (Chord bears South 84 deg. 16 min. 07 sec. West, 130.86 feet) to a point;

South 83 deg. 33 min. 59 sec. West 82.52 feet to a point;

South 00 deg. 46 min. 04 sec. East 24.30 feet to a P-K nail set in the pavement of Quail Run Road;

South 89 deg. 22 min. 58 sec. West 664.18 feet along Quail Run Road to a point in the center of same, being the southwest corner of said 80 acres, a ½ inch steel rod set North 01 deg. 23 min. 44 sec. West 30.00 feet for witness;

Thence North 01 deg. 23 min. 44 sec. West 1727.17 feet along the west line of said 80 acres to the point of beginning, containing 30.337 acres of land, more or less.

FIRST TRACT - 32.5 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2008-00396963

29.192 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

20,000 ACRES
MICHAEL R. LARRIERE
895-57

FIRST TRACT - 28.2 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2009-00411939

2.752 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

JAMES T. BRADLEY
908-10

29.929 ACRES
CALLED 30 ACRES
LONNIE L. GIDEON
307-256

SECOND TRACT - 44.3 ACRES
R AND R HANCE INVESTMENTS LP
RCC 2009-00411939

30.337 Acres
CALLED 80 ACRES LONNIE L. GIDEON 307-256

2.33 ACRES
HERMAN UTLEY
1779-214

P. B. HARRISON SURVEY
A-97

S. R. BARNES SURVEY
A-13

J. M. GASS SURVEY
A-88

LOT 1, BLOCK A
D. R. TAYLOR ADDITION
E-317 PRRCT

1" = 100'

R & R HANCE INVESTMENTS LP
5433-53

LOT 1, BLOCK A
PROMISE LAND ADDITION

TRACT I - 5.18 ACRES
NICHOLAS P. GRANT
4472-181

TRACT II - 5.05 ACRES
NICHOLAS P. GRANT
4472-181

DESCRIPTION

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING all of that tract of land in Rockwall County, Texas, out of the S. R. Barnes Survey, A-13, and being a part of that called 80 acres described in a deed to Lonnie L. Gideon recorded in Volume 307, Page 256 of the Deed Records of Rockwall County, Texas, and being further described as follows:

BEGINNING at the intersection of the West line of said 80 acres with the South line of S. H. 205 By-Pass, said point bearing South 01 degrees 23 minutes 44 seconds East, 885.84 feet from a 3/8 inch steel rod found at the Northwest corner of said 80 acres;

THENCE along the line of S. H. By-Pass as follows:

- South 72 degrees 05 minutes 21 seconds East, 225.92 feet to a 1/2 inch steel rod set at a point of curve;
- Southeasterly, 1274.04 feet along a curve to the right having a radius of 1040.00 feet and a central angle of 70 degrees 11 minutes 23 seconds (Chord bears South 36 degrees 59 minutes 40 seconds East, 1195.86 feet) to a 1/2 inch steel rod set;
- South 01 degrees 53 minutes 59 seconds East, 243.24 feet to a 1/2 inch steel rod set;
- South 02 degrees 35 minutes 02 seconds West, 140.71 feet to a 1/2 inch steel rod set;
- South 01 degrees 53 minutes 59 seconds East, 41.83 feet to a 1/2 inch steel rod set;
- Southeasterly, 191.03 feet along a curve to the left having a radius of 1571.00 feet and a central angle of 06 degrees 58 minutes 01 seconds (Chord bears South 05 degrees 22 minutes 59 seconds East, 190.91 feet) to a 1/2 inch steel rod set;
- South 81 degrees 07 minutes 40 seconds West, 25.65 feet to a point;
- South 10 degrees 47 minutes 13 seconds East, 26.00 feet to a point;
- South 79 degrees 12 minutes 47 seconds West, 17.32 feet to a point;
- Southwesterly, 131.03 feet along a curve to the right having a radius of 742.50 feet and a central angle of 10 degrees 06 minutes 40 seconds (Chord bears South 84 degrees 16 minutes 07 seconds West, 130.86 feet) to a point;
- South 83 degrees 33 minutes 59 seconds West, 82.52 feet to a point;
- South 00 degrees 46 minutes 04 seconds East, 24.30 feet to a P-K nail set in the pavement of Quail Run Road;
- South 89 degrees 22 minutes 58 seconds West, 664.18 feet along Quail Run Road to a point in the center of same, being the Southwest corner of said 80 acres, a 1/2 inch steel rod set North 01 degrees 23 minutes 44 seconds West, 30.00 feet for witness;

THENCE North 01 degrees 23 minutes 44 seconds West, 1727.17 feet along the West line of said 80 acres to the Point of Beginning, containing 30.337 acres of land.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	24.07'	14.00'	96°31'00"	S 84°16'07" W	21.21'
C2	131.03'	742.50'	10°06'40"	S 84°16'07" W	130.86'

LINE	BEARING	DISTANCE
L1	S 09°05'30" E	47.64'
L2	S 89°38'49" E	17.74'
L3	S 84°01'46" W	37.04'
L4	S 84°21'51" W	30.75'
L5	S 67°41'02" W	29.89'
L6	S 28°56'15" W	72.24'
L7	S 00°21'07" W	30.45'
L8	S 81°07'40" W	25.65'
L9	S 10°47'13" E	26.00'
L10	S 79°12'47" W	17.32'
L11	S 83°33'59" W	62.52'
L12	S 00°46'04" E	24.30'

Bearings based upon Grid North, Texas State Plane Coordinate System, North Central Zone, NAD 83.

Subdividing property by metes and bounds may be in violation of city and/or county platting ordinances.

The plat as shown hereon was prepared from an on-the-ground survey performed under my supervision during the month of March, 2010.

April 7, 2010

Ray L. Vannoy
Ray L. Vannoy
R.P.L.S. No. 1988

BOUNDARY SURVEY

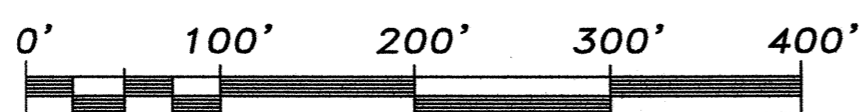
30.337 ACRES
S. R. BARNES SURVEY, A-13
ROCKWALL, TEXAS

PREPARED FOR:

Lonnie L. Gideon, Trustee
282 Airport Road
Reno, Texas 75462

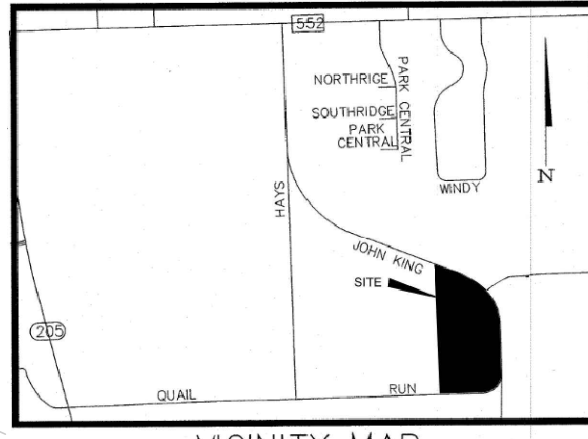
No Schedule "B" Provided
SHEET 1 OF 4
Drawn By: RV
Vannoy Job No. 2149

Vannoy & Assoc., Inc.
Surveyors/Planners
500 N. Valley Mills Dr., Suite 210
Waco, Texas 76710, (254) 751-1934



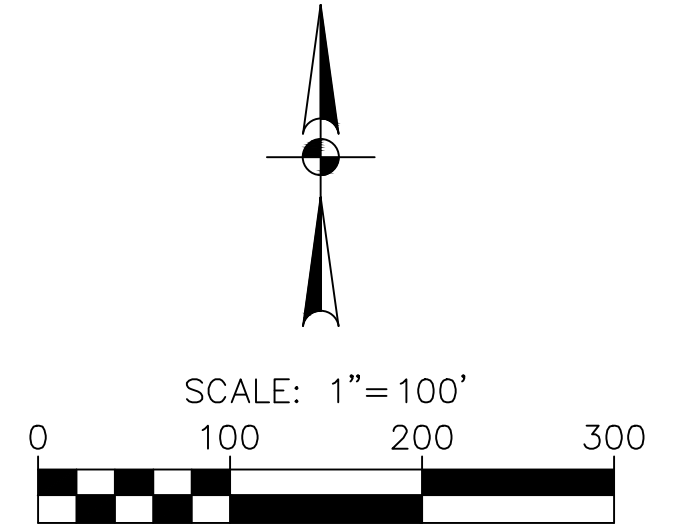
LAND USE SUMMARY			
USES	RESIDENTIAL UNITS	NON-RES. LOTS	+/- AC.
TYPE A - SF (60' MIN)	53		6.716
TYPE B - SF (70' MIN)	31		8.963
ROW			7.226
OPEN SPACE		11	7.455
TOTAL	84	11	30.36

NOTE: PD REQUIRES 7.36 ACRES OF OPEN SPACE.

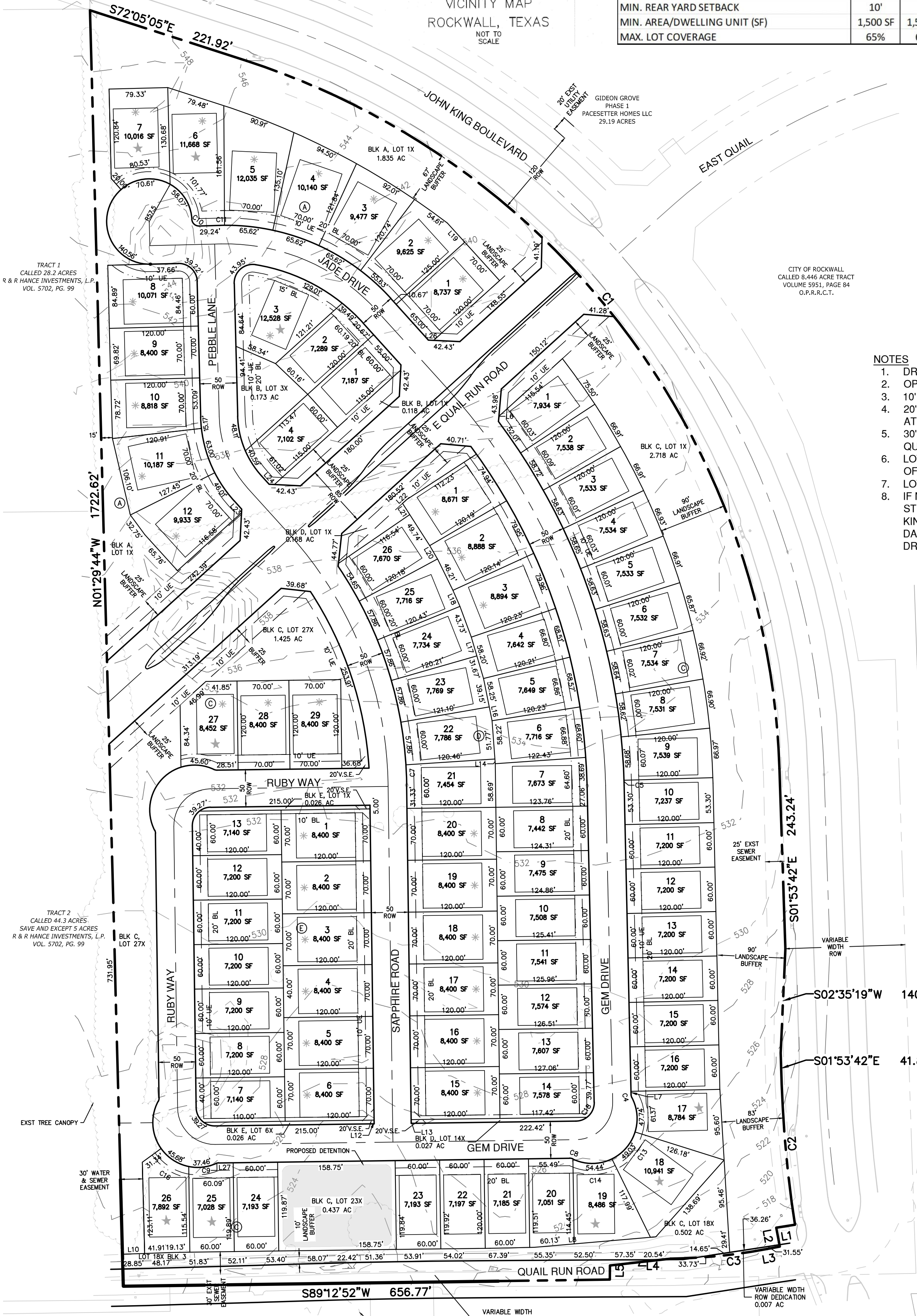


VICINITY MAP
ROCKWALL, TEXAS
NOT TO SCALE

LOT DIMENSION REQUIREMENTS	
Zoning: Ord. No. 17-25; PD-84	
	LOT TYPE
MIN. LOT WIDTH/FRONTAGE	A 60' B 70'
MIN. LOT DEPTH	120' 120'
MIN. LOT AREA	7,000 SF 8,400 SF
MIN. FRONT YARD SETBACK	20' 20'
MIN. SIDE YARD SETBACK	5' 5'
MIN. SIDE YARD SETBACK (ADJACENT TO STREET)	10' 10'
MIN. LENGTH OF DRIVEWAY PAVEMENT	20' 20'
MAX. HEIGHT	36' 36'
MIN. REAR YARD SETBACK	10' 10'
MIN. AREA/DWELLING UNIT (SF)	1,500 SF 1,500 SF
MAX. LOT COVERAGE	65% 65%



CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1040.00'	70°11'23"	S36°59'23"E	1195.86'	1274.04'
C2	1571.00'	6°58'01"	N5°22'42"W	190.91'	191.03'
C3	742.50'	10°06'40"	N84°16'24"E	130.86'	131.03'
C4	9.50'	26°28'59"	S14°31'27"E	4.35'	4.39'
C5	850.00'	0°26'29"	S1°30'12"E	6.55'	6.55'
C7	540.00'	2°56'01"	N2°13'31"W	27.65'	27.65'
C8	9.50'	26°28'59"	N77°31'01"W	4.35'	4.39'
C9	9.50'	23°20'43"	N77°34'08"E	3.84'	3.87'
C10	9.50'	88°17'22"	N47°14'33"W	13.23'	14.64'
C11	300.00'	1°00'41"	S89°07'06"W	5.30'	5.30'
C13	75.50'	46°25'49"	S40°39'27"W	59.52'	61.18'
C14	75.50'	46°04'48"	S86°54'45"W	59.10'	60.72'
C16	75.59'	45°26'47"	N58°18'04"W	58.40'	59.95'
C17	195.00'	15°07'20"	S34°35'32"E	51.32'	51.47'
C18	25.00'	53°39'15"	S25°32'41"W	22.56'	23.41'
C19	230.00'	9°50'46"	N47°04'36"W	39.48'	39.52'



NOTES

- DRAINAGE/DETENTION ON SITE TO BE MAINTAINED BY THE HOA
- OPEN SPACES TO BE MAINTAINED BY THE HOA
- 10' UTILITY EASEMENT TO BE ALONG ALL STREET FRONTAGE.
- 20'X20' SIDEWALK AND VISIBILITY EASEMENT CLIPS ARE LOCATED AT ALL INTERSECTING RESIDENTIAL TO RESIDENTIAL STREETS.
- 30'X30' ROW CLIP AT ALL INTERSECTIONS WITH JOHN KING AND QUAIL RUN ROAD.
- LOTS REQUESTING A REDUCED FRONT BUILDING LINE SETBACK OF 15' ARE DENOTED WITH "*".
- LOTS DENOTED WITH "*" ARE CLASSIFIED AS A TYPE B LOTS IF NECESSARY, WE PROPOSE THE FOLLOWING ADDITIONAL STREET NAMES: VALE ROAD, CLOVE DRIVE, HEIRLOOM LANE, KINGS COURT, LOVERS ROAD, ASHLAND DRIVE, GNEISS DRIVE, DACITE LANE, MARBLE LANE, PUMICE LANE, LUNA LANE, OLIVE DRIVE, JUNIPER DRIVE, GRAND LANE

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S81°07'57"W	25.65'
L2	N10°46'56"W	23.47'
L3	N79°13'04"E	17.32'
L4	N83°34'16"E	82.52'
L5	N0°48'09"E	19.00'
L6	S4°59'26"W	7.23'
L7	S1°16'57"E	4.38'
L8	N85°29'38"E	60.13'
L10	S88°10'47"W	30.00'
L12	S0°45'30"E	430.00'
L13	N0°45'30"W	5.00'
L14	N4°20'44"W	6.45'
L16	N11°24'29"W	58.25'
L17	N16°21'01"W	26.52'
L18	N23°49'06"W	23.71'
L19	S42°09'12"E	34.84'
L20	N30°13'35"W	20.94'
L21	N32°49'49"W	17.98'
L22	N47°50'48"E	7.82'
L23	S42°09'12"E	15.12'
L24	N42°09'12"W	15.12'
L26	N87°09'12"W	7.07'

OWNER
GIDEON GROVE ADDITION 2 GP CORPORATION
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TX 75225
PHONE: (214) 522-4945
EMAIL: JARNOLD@SKORBURGCOMPANY.COM
CONTACT: JOHN ARNOLD

DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TX 75225
PHONE: (214) 522-4945
EMAIL: JRJOHNSON@SKORBURGCOMPANY.COM
CONTACT: HUMBERTO JOHNSON, JR.

**PRELIMINARY PLAT
FOR
GIDEON GROVE
PHASE 2**

CONTAINING LOTS 1-12, 1X BLK A; LOTS 1-4, 1X, 3X BLK B; LOTS 1-29, 1X, 18X, 23X, 27X BLK C; LOTS 1-26, 1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND 11 OPEN SPACE LOTS

BEING 30.36 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT 13 LOCATED IN CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS.

P2020-046

Date: Nov 03, 2020, 4:57pm User ID: mliner
File: S:\projects\612\63\00\2.0 Design\2.4 Civil\2.4.4 Exhibits\Preliminary Plat.dwg



FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

PLANNING & ZONING COMMISSION CHAIRMAN	DATE:
MAYOR, CITY OF ROCKWALL	DATE:

MICHAEL WURSTER AND JENNIFER WURSTER
DOC. NO. 2020000003578
O.P.R.R.C.T.

FEMA 100 YR FLOODPLAIN

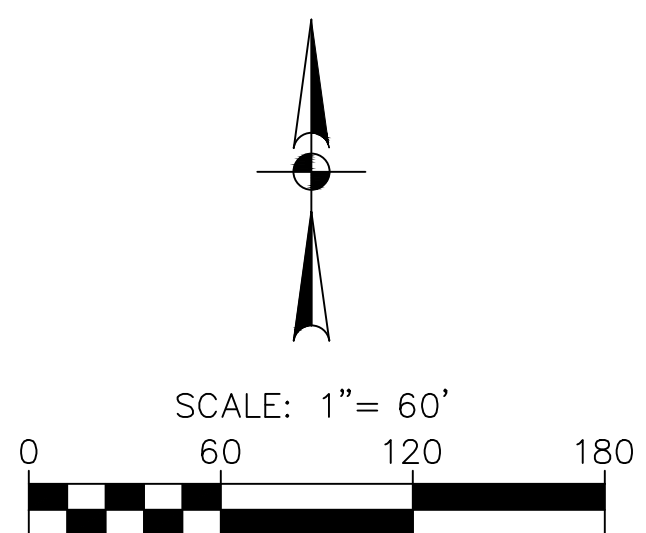
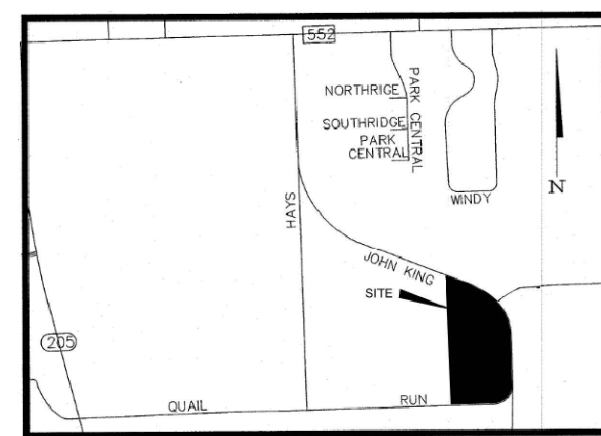
JOHN R. YINGLING AND WIFE LYNNELLE C. YINGLING
VOL. 366, PG. 211
O.P.R.R.C.T.

JOHN R. YINGLING AND WIFE LYNNELLE C. YINGLING
VOL. 817, PG. 76
O.P.R.R.C.T.

CITY OF ROCKWALL
VOL. 543, PG. 188
O.P.R.R.C.T.

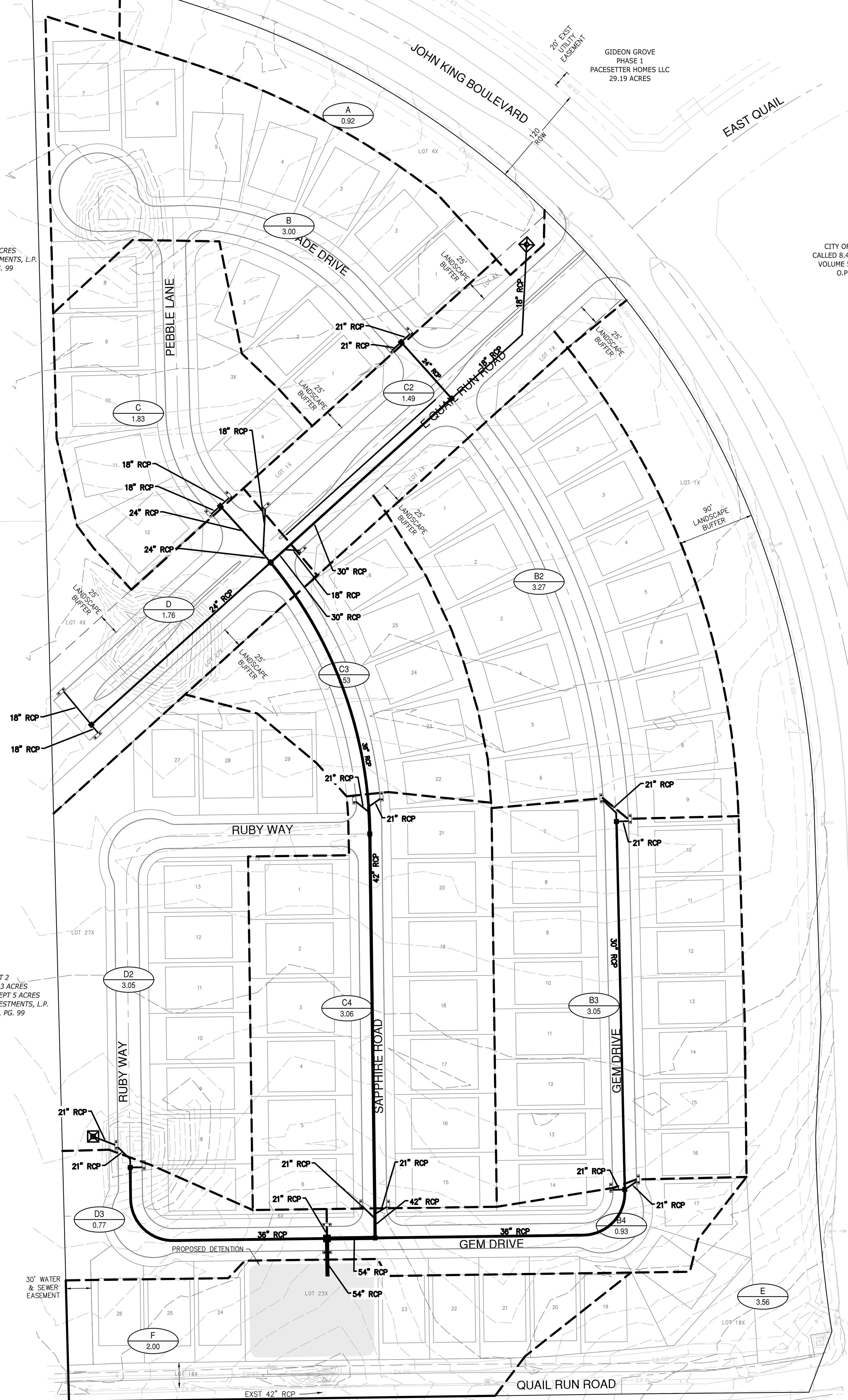
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POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS													
Area No.	Area (ac)	Runoff Coeff.	CA	Tc (min)	I5 (in/hr)	Q5 (cfs)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	Collection Point
Onsite													
A	0.92	0.50	0.46	10	6.10	2.81	7.10	3.27	8.30	3.82	9.80	4.51	4x4' AREA INLET
B	3.00	0.50	1.50	10	6.10	9.15	7.10	10.65	8.30	12.45	9.80	14.70	2-10' CURB INLET
B2	3.27	0.50	1.64	10	6.10	9.97	7.10	11.61	8.30	13.57	9.80	16.02	2-10' CURB INLET
B3	3.05	0.50	1.53	10	6.10	9.30	7.10	10.83	8.30	12.66	9.80	14.95	2-10' CURB INLET
B4	0.93	0.50	0.47	10	6.10	2.84	7.10	3.30	8.30	3.86	9.80	4.56	2-10' CURB INLET
C	1.83	0.50	0.92	10	6.10	5.58	7.10	6.50	8.30	7.59	9.80	8.97	2-10' CURB INLET
C2	1.49	0.50	0.75	10	6.10	4.54	7.10	5.29	8.30	6.18	9.80	7.30	2-10' CURB INLET
C3	1.53	0.50	0.77	10	6.10	4.67	7.10	5.43	8.30	6.35	9.80	7.50	2-10' CURB INLET
C4	3.06	0.50	1.53	10	6.10	9.33	7.10	10.86	8.30	12.70	9.80	14.99	2-10' CURB INLET
D	1.76	0.50	0.88	10	6.10	5.37	7.10	6.25	8.30	7.30	9.80	8.62	2-10' CURB INLET
D2	3.05	0.50	1.53	10	6.10	9.30	7.10	10.83	8.30	12.66	9.80	14.95	2-10' CURB INLET
D3	0.77	0.50	0.39	10	6.10	2.35	7.10	2.73	8.30	3.20	9.80	3.77	2-10' CURB INLET
E	3.56	0.50	1.78	15	6.10	10.86	7.10	12.64	7.10	12.64	9.80	17.44	EXIST AREA INLET
F	2.00	0.50	1.00	15	6.10	6.10	7.10	7.10	7.10	106.50	9.80	9.80	DETENTION



TRACT 1
CALLED 28.2 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99

CITY OF ROCKWALL
CALLED 8.446 ACRE TRACT
VOLUME 5951, PAGE 84
O.P.R.R.C.T.



TRACT 2
CALLED 44.3 ACRES
SAVE AND EXCEPT 5 ACRES
R & R HANCE INVESTMENTS, L.P.
VOL. 5702, PG. 99

PRELIMINARY DRAINAGE PLAN
FOR
GIDEON GROVE
PHASE 2

CONTAINING LOTS 1-12, 1X BLK A; LOTS 1-4, 1X, 3X
BLK B; LOTS 1-29, 1X, 18X, 23X, 27X BLK C; LOTS 1-26,
1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND
11 OPEN SPACE LOTS

BEING 30.36 ACRES OF LAND SITUATED IN THE
S.R. BARNES SURVEY, ABSTRACT 13
LOCATED IN CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS.

PAPE-DAWSON ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

- NOTES**
1. DRAINAGE/DETENTION ON SITE TO BE MAINTAINED BY THE HOA
 2. OPEN SPACES TO BE MAINTAINED BY THE HOA
 3. AREA INLETS ARE TO BE WYE INLETS

MICHAEL WURSTER AND JENNIFER WURSTER
DOC. NO. 2020000003578
O.P.R.R.C.T.

JOHN R. YINGLING AND WIFE
LYNELLE C. YINGLING
VOL. 817, PG. 76
O.P.R.R.C.T.

JOHN R. YINGLING AND WIFE
LYNELLE C. YINGLING
VOL. 366, PG. 211
O.P.R.R.C.T.

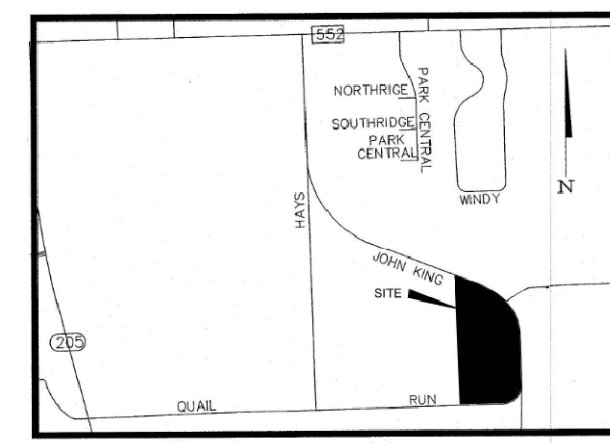
DEVELOPER
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TX 75225
PHONE: (214) 522-4945
EMAIL: JRJOHNSON@SKORBURGCOMPANY.COM
CONTACT: HUMBERTO JOHNSON, JR.

OWNER
GIDEON GROVE ADDITION 2 GP CORPORATION
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TX 75225
PHONE: (214) 522-4945
EMAIL: JARNOLD@SKORBURGCOMPANY.COM
CONTACT: JOHN ARNOLD

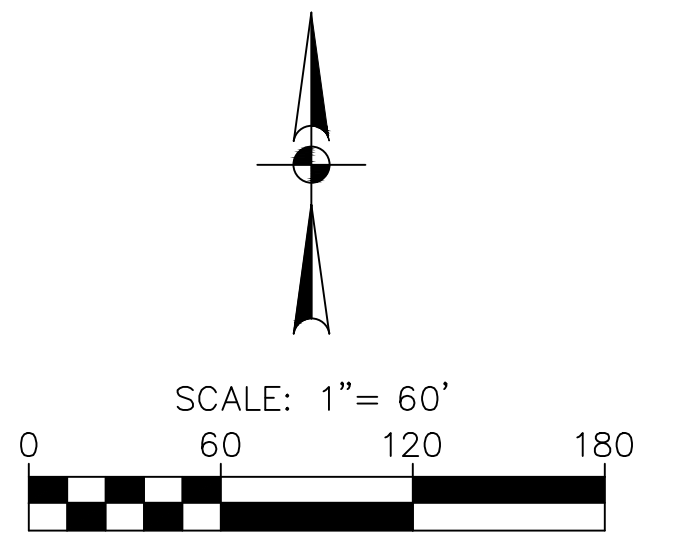
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- NOTES**
1. DRAINAGE/DETENTION ON SITE TO BE MAINTAINED BY THE HOA.
 2. OPEN SPACES TO BE MAINTAINED BY THE HOA.
 3. ALL WATER & SEWER LINES ARE TO BE 8" UNLESS OTHERWISE NOTED.



VICINITY MAP
ROCKWALL, TEXAS
NOT TO SCALE



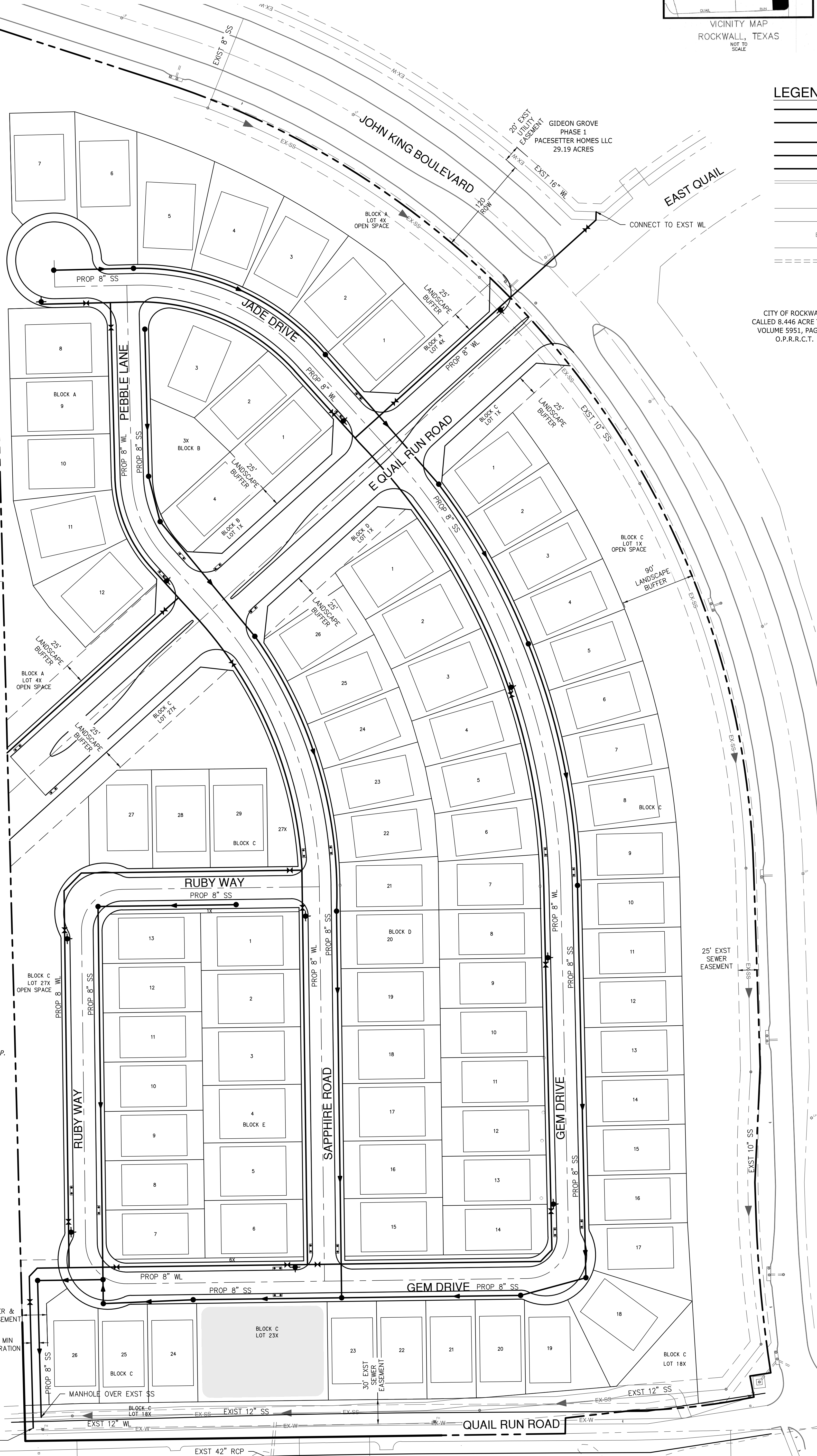
LEGEND

- PROPOSED WATER LINE
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN
- EX-W — EXISTING WATER LINE
- EX-GV — EXISTING GATE VALVE
- EX-FH — EXISTING FIRE HYDRANT
- EX-SS — EXISTING SANITARY SEWER LINE
- EX-SM — EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN

CITY OF ROCKWALL
CALLED 8.446 ACRE TRACT
VOLUME 5951, PAGE 84
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EMAIL: JRJOHNSON@SKORBURGCOMPANY.COM
CONTACT: HUMBERTO JOHNSON, JR.

**UTILITY PLAN
FOR
GIDEON GROVE
PHASE 2**

CONTAINING LOTS 1-12, 1X BLK A; LOTS 1-4, 1X, 3X
BLK B; LOTS 1-29, 1X, 18X, 23X, 27X BLK C; LOTS 1-26,
1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E
FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND
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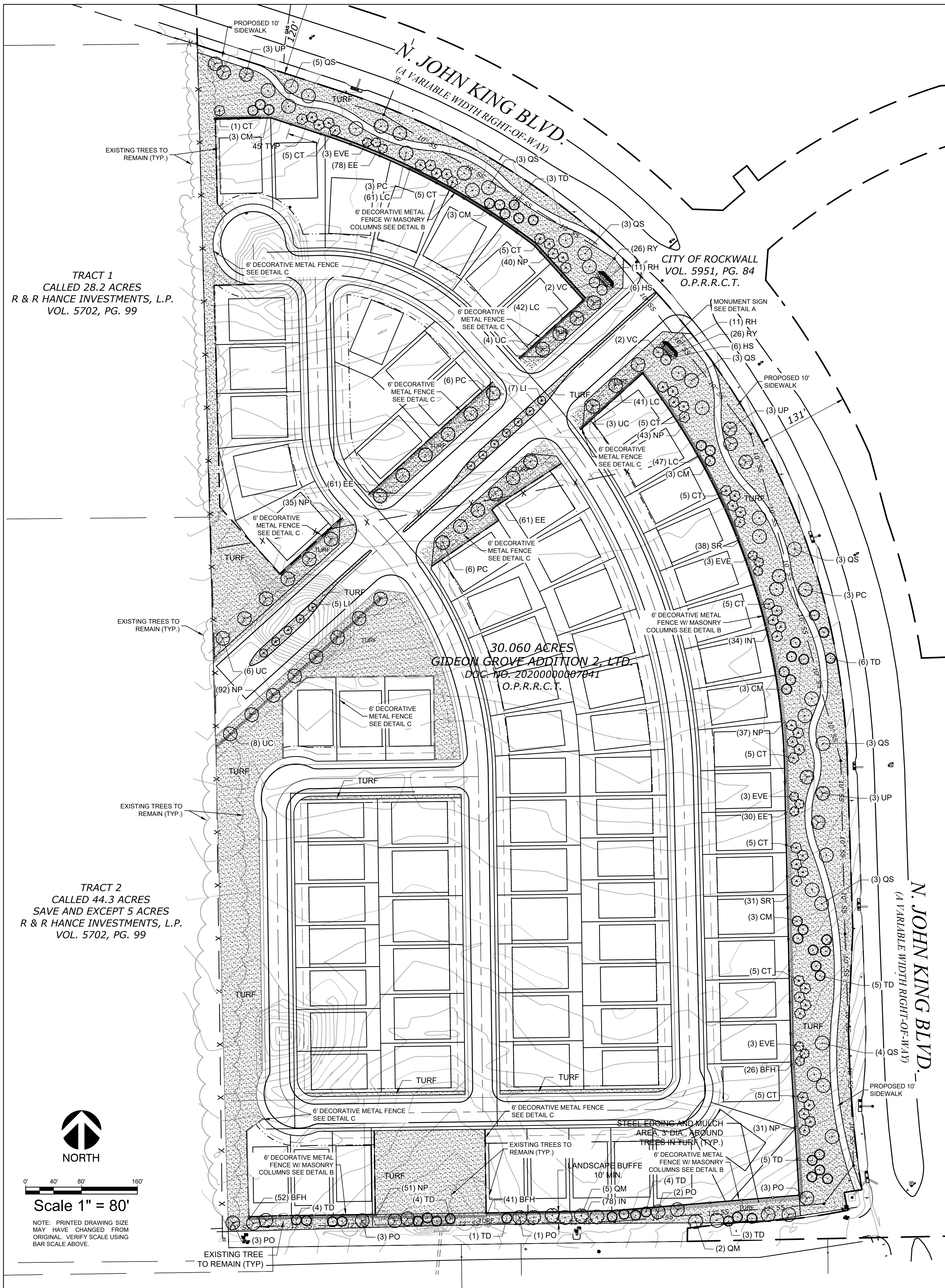
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Date: Nov 04, 2020, 8:54am User ID: mfiner
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LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
 FRONTAGE LENGTH: 2,028 LF
 CANOPY TREES REQUIRED: 61 TREES (3 PER 100 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 61 TREES
 UNDERSTORY TREES REQUIRED: 82 TREES (4 PER 100 LF OF FRONTAGE)
 UNDERSTORY TREES PROVIDED: 82 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)
 FRONTAGE LENGTH: 721 LF
 CANOPY TREES REQUIRED: 15 TREES (1 PER 50 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 16 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

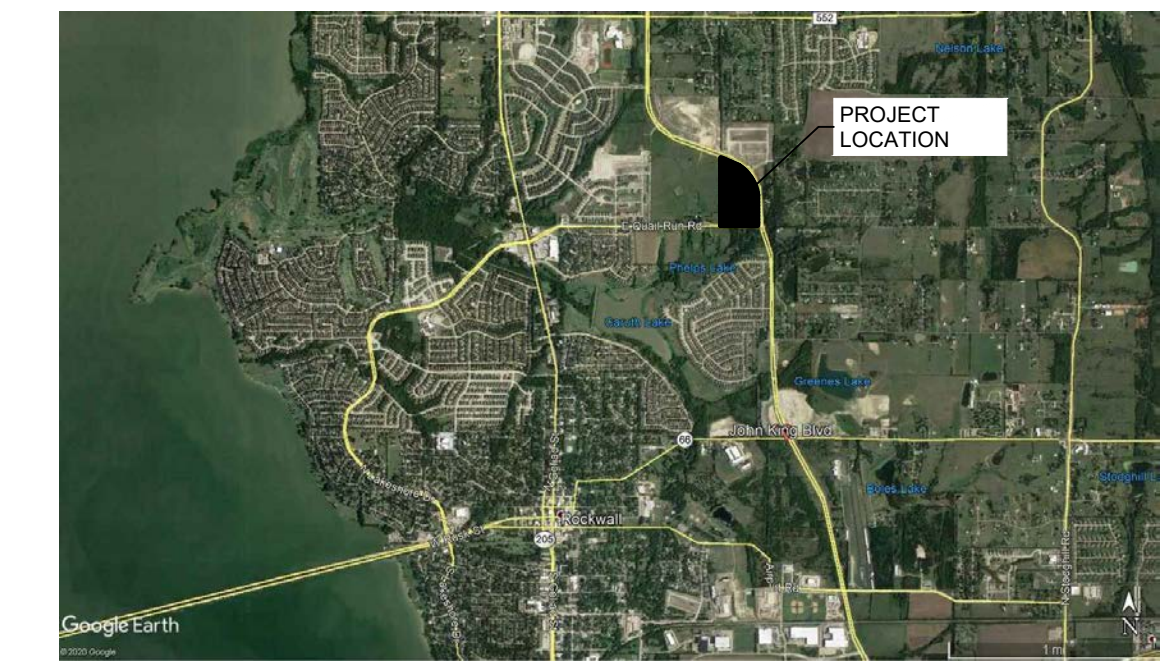
E QUAIL RUN ROAD (SOUTH SIDE)
 FRONTAGE LENGTH: 794 LF
 CANOPY TREES REQUIRED: 16 TREES (1 PER 50 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 17 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD
 FRONTAGE LENGTH: 958 LF
 CANOPY TREES REQUIRED: 39 TREES (1 PER 25 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

VICINITY MAP



11/03/2020

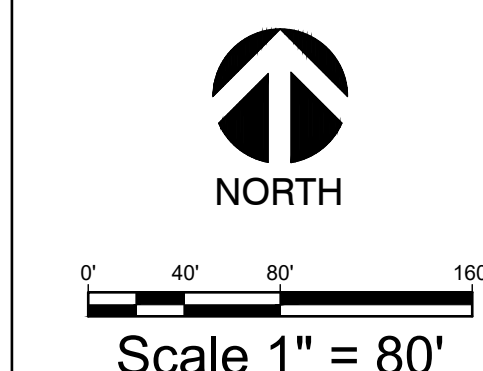
Owner
Skorburg Company
 8214 Westchester Drive
 Dallas, TX

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	UC	21	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	3" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	3" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8" HT
	CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8" HT MIN
	EVE	12	SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	1.5" CAL	6-8" HT.
	LI	12	LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8" HT MIN
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8" HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	BFH	119	ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
	EE	229	ELAEAGNUS X EBBINGEI	ELAEAGNUS	5 GAL	48" OC	30" HT MIN
	HS	12	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
	IN	112	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
	LC	231	LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
	NP	324	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
	RH	22	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
	RY	52	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
	SR	69	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	TURF	282,187 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD		



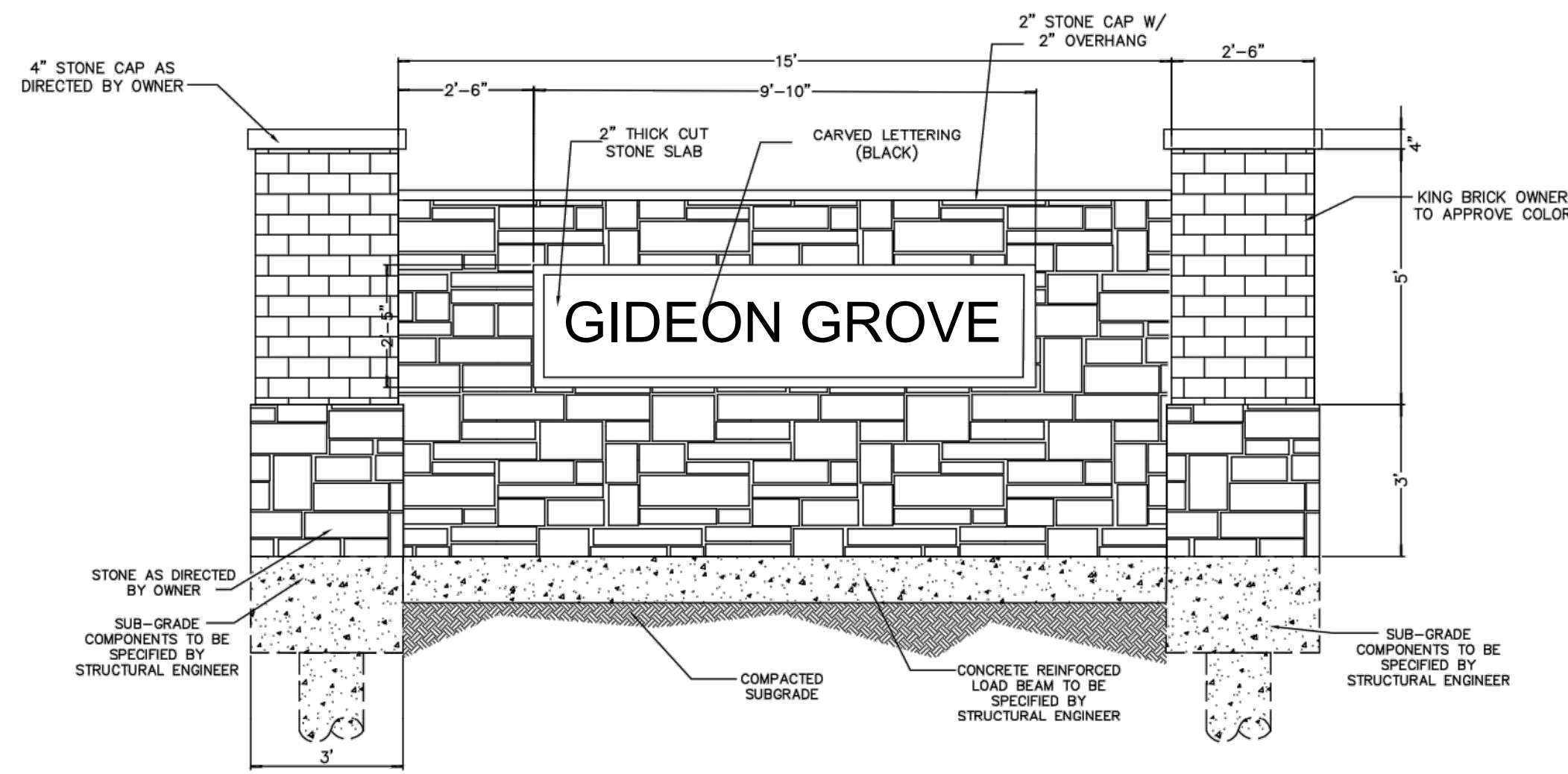
Project Name
Gideon Grove Phase 2
 John King Boulevard and E Quail Run Road
 Rockwall, TX

LANDSCAPE PLAN

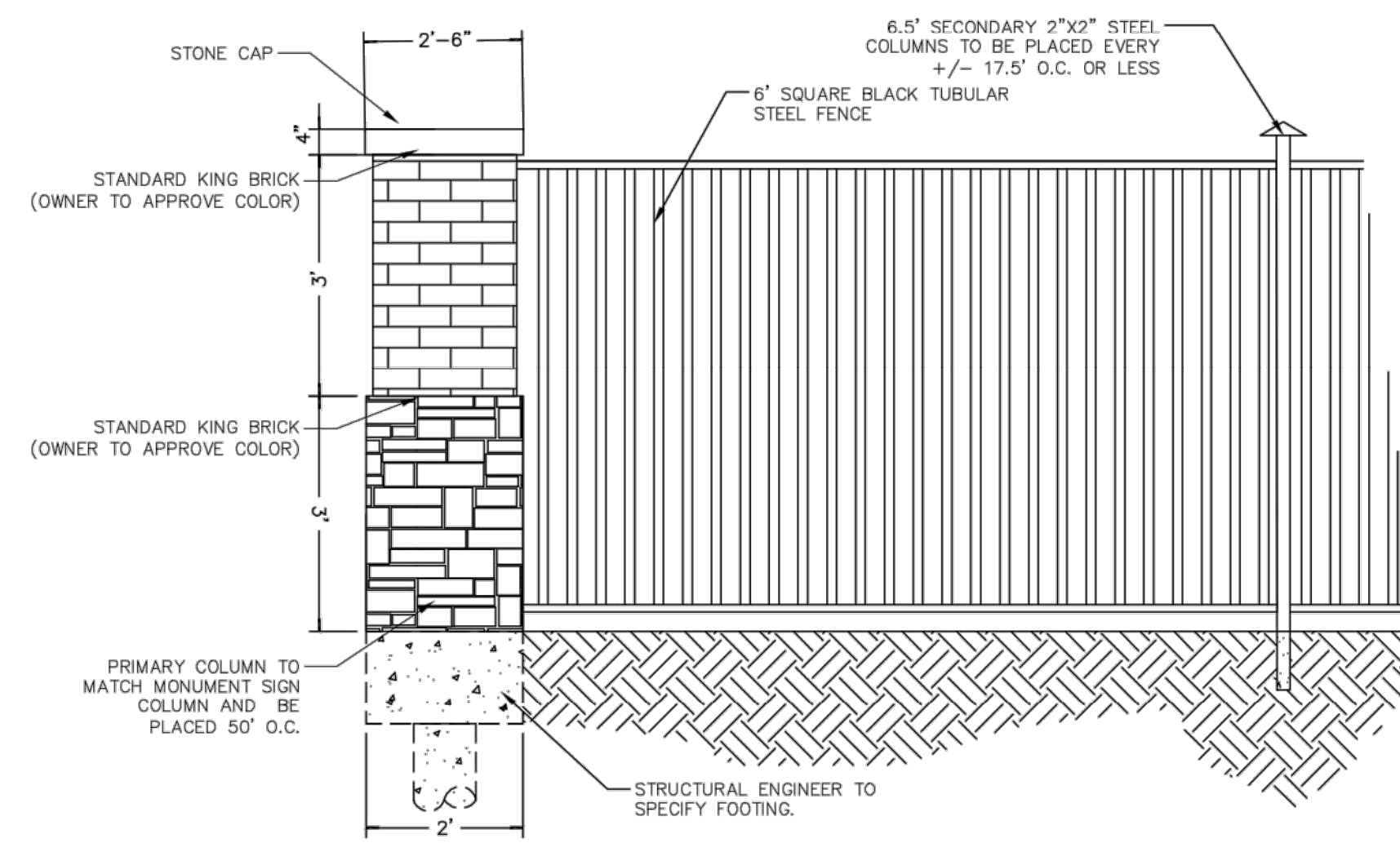
Date	Comment

Project Number
 Date 10/28/2020
 Drawn By MNB
 Checked By KB/RM

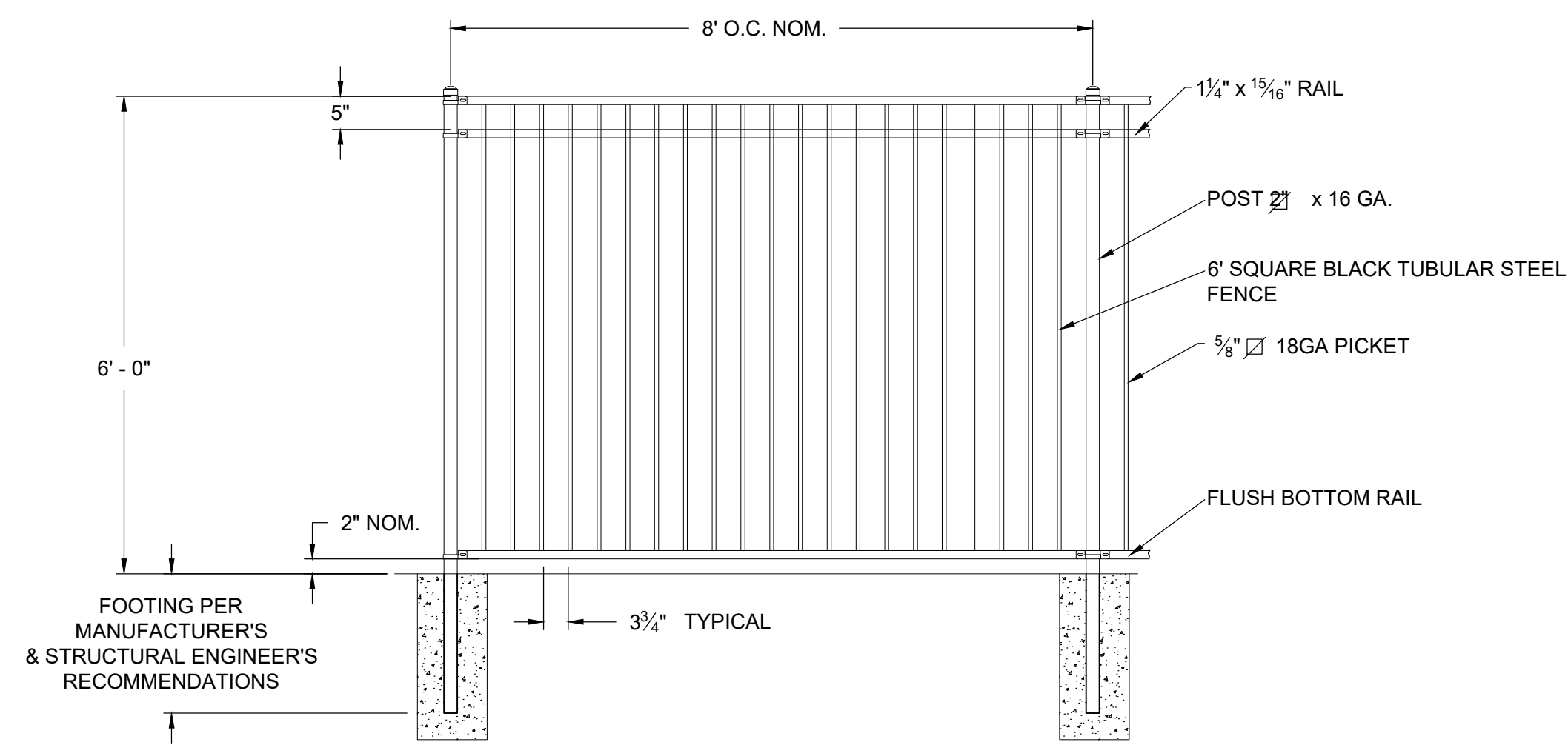
LP-1



A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE

11/03/2020

Skorburg Company
8214 Westchester Drive
Dallas, TX

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE
DETAILS

Date Comment

Date	Comment

Project Number

Date 10/28/2020

Drawn By MNB

Checked By KB/RM

LP-3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: November 10, 2020
SUBJECT: Z2020-043; *Specific Use Permit for an Existing Mini-Warehouse Facility*

On July 7, 2014, the City Council approved a Specific Use Permit (SUP) [S-121; Ordinance No. 14-25] allowing a 579-unit mini-warehouse facility on the subject property at 1245 SH-276. This approval allowed the facility to be completely enclosed and permitted the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles. Up to this point, outside storage in conjunction with a mini-warehouse had not been approved by the City Council. This approval also granted the applicant more units than what was permitted by the land use requirements for the mini-warehouse land use as stipulated by the Unified Development Code (UDC) [*i.e. the ordinance permits 125-units per acre and the applicant was granted 207-units per acre or 222-units more than what was permitted by the ordinances*]. Upon receiving approval of the Specific Use Permit (SUP), the applicant submitted a site plan (SP2014-033) in December 2014, which was approved by the Planning and Zoning Commission on January 13, 2015. A final plat (P2015-013) was approved by the City Council on May 4, 2015. A subsequent replat (P2015-041) was approved by the City Council -- *with a variance allowing the subject property to be established without lot frontage* -- on December 21, 2015. Finally, a building permit was applied for on May 22, 2015 and approved on August 19, 2015 (BLD2015-0685). The building itself was finalized on September 2, 2016 and a Certificate of Occupancy (CO) was issued on September 20, 2016 (CO2016-0063).

More recently, on October 6, 2020, staff received a phone call from the applicant -- *Maxwell Fisher, AICP of Masterplan* -- stating that the existing mini-warehouse facility was in the process of being conveyed to a new ownership group and a few discrepancies were found between what was approved by the City Council as part of the Specific Use Permit (SUP) [S-121; Ordinance No. 14-25] and what was actually constructed. Since these discrepancies were holding up the sale of the property, the applicant stated that he was going to submit a request to amend the Specific Use Permit (SUP) to account for what was actually built on the property. This application was made on October 8, 2020. As part of this submittal, the applicant submitted a letter of explanation outlining the following discrepancies:

- (1) Number of Units. The approved Specific Use Permit (SUP) allowed a maximum of 579-units. The actual number of units constructed was 778-units. The applicant states in his letter that 827-units were approved as part of the building plans; however, after reviewing these plans and counting the individual units, staff has identified 872-units on plans despite the cover sheet calling out 579-units.
- (2) Unit Density. The unit density permitted by the Unified Development Code (UDC) is 125-units per acre. The unit density permitted as part of the Specific Use Permit (SUP) was 203-units per acre. The unit density shown on the building plans was 305-units per acre. The actual unit density constructed was 272-units per acre or 278.85% greater than what is permitted by the Unified Development Code (UDC).
- (3) Parking. The parking requirement for a mini-warehouse is a ratio that is driven by the number of units, and which is three (3) parking spaces plus one (1) parking space per 100-units. In this case, the number of parking spaces required under the 579-units on the Specific Use Permit (SUP) was nine (9). The number of parking spaces required based on the 778-units actually constructed was 11. The actual number of parking spaces constructed was nine (9) or two (2) spaces less than the requirement.

Staff has also identified the following additional discrepancies:

- (1) Floor Area. The exhibit in the Specific Use Permit (SUP) showed a 118,800 SF building. The cover sheet of the building plans shows that same building at a building area of 122,800 SF. The actual building that was built is -- *estimated by the applicant* -- to be ~119,000 SF.
- (2) Outside Storage. The Specific Use Permit (SUP) showed 16 RV/Boat parking spaces along the northeast property line and 12 along the southeast property line for a total of 28 RV/Boat parking spaces. Based on a 2020 aerial image (see *image below*), there appears to actually be 17 RV/Boat parking spaces along the northeast property line and 12 along the southeast property line for a total of 29 RV/Boat parking spaces.

IMAGE 1: 2020 AERIAL IMAGE (GOOGLE)



In addition, according to the applicant's letter: *The '579' figure was inadvertently placed on the site plan and conveyed as part of the SUP application materials. As such, the total count of 579 units cited as part of the SUP application was an oversight and underrepresented the total number of units planned for a facility of this type and size ... Platinum Storage, the developer and currently a minority owner of the facility, always intended to accommodate 800 or more total storage units depending on the fluctuating sub-market demand for customers. The floor plans submitted as part of the building plans support this intent.*

Taking this statement into consideration, staff is obligated to point out that the applicant's request letter, the application for site plan, and all submitted exhibits for the Specific Use Permit (SUP), site plan and engineering plans all indicated that the project consisted of 579-units. Staff should also point out that the building permit coversheet -- *which is what is used for unit counts, square footages, and other site information* -- indicated 579-units. The only document that showed more units than the '579' figure was the actual construction plans behind the cover page; however, no other unit count on the plans exists beyond the provided cover page. For the Planning and Zoning Commission's reference staff has provided the following table that shows the units indicated with each submittal and the compliance to the requirements of the Unified

Development Code (UDC):

TABLE 1: CONFORMANCE OR APPROVED PLANS AND ACTUAL CONSTRUCTION

UDC REQUIREMENT		SPECIFIC USE PERMIT	APPROVED PLANS			BUILDING PLANS (ACTUAL PLANS)	CONSTRUCTED
			SITE PLAN	ENGINEERING	BUILDING PLANS (COVER SHEET)		
SITE AREA	5-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES	2.857-ACRES
BUILDING AREA	N/A	118,800 SF	122,800 SF	122,800 SF	122,800 SF	120,900 SF	119,000 SF
MAXIMUM # OF UNITS	625 @ 5-ACRES	579-UNITS	579-UNITS	579-UNITS	579-UNITS	872-UNITS (1)	778-UNITS
MAX. UNIT DENSITY/ACRE	125 UNITS	203-U/AC	203-U/AC	203-U/AC	203-U/AC	305-U/AC	272-U/AC
MAXIMUM HEIGHT	1 STORY	4 STORIES	4 STORIES	4 STORIES	4 STORIES	4 STORIES	4 STORIES
PARKING REQUIREMENT	3+1/100-UNITS	9 SPACES	9 SPACES	9 SPACES	9 SPACES	9 SPACES (2)	9 SPACES (2)
EXTERIOR WALLS	BRICK	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)	BRICK, STONE AND STUCCO (3)

LANDSCAPING	CLUSTERED LANDSCAPING	CLUSTER LANDSCAPING	CLUSTER LANDSCAPING	CLUSTER LANDSCAPING	CLUSTER LANDSCAPING	CLUSTER LANDSCAPING	CLUSTER LANDSCAPING
ACCESS GATES	YES	YES	YES	YES	YES	YES	YES
SCREENING FENCE	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON	MASONRY AND WROUGHT IRON
MINIMUM ROOF PITCH	1:3	FLAT ROOF	FLAT ROOF	FLAT ROOF	FLAT ROOF	FLAT ROOF	FLAT ROOF
PAVING	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
MAX. LIGHTING HEIGHT	20-FEET	20-FEET	20-FEET	20-FEET	20-FEET	20-FEET	20-FEET
RESIDENTIAL UNIT	1,600 SF	1,200 SF	1,200 SF	1,200 SF	1,200 SF	0 SF	0 SF
OUTSIDE STORAGE	PROHIBITED	28-SPACES	28-SPACES	28-SPACES	28-SPACES	28-SPACES	29-SPACES

NOTES:

BLACK: IN CONFORMANCE WITH THE UDC REQUIREMENTS

RED: REQUIREMENTS NOT CONFORMING TO THE UDC

HIGHLIGHTED OR HIGHLIGHTED: CHANGES FROM APPROVED SPECIFIC USE PERMIT (SUP) AND ACTUAL CONSTRUCTION

(1): APPLICANT INDICATED 827 STAFF COUNTED 872-UNITS.

(2): BASED ON THE NUMBER OF UNITS CONSTRUCTED THE REQUIREMENT WOULD HAVE BEEN FOR 11 PARKING SPACES.

(3): MEETS OVERLAY DISTRICT BUT DOES NOT ADHERE TO THE LAND USE REQUIREMENTS.

The following is the same chart looking at just the discrepancies as they exist on the approved Specific Use Permit (SUP), the actual building that was constructed, and what is currently being requested by the applicant:

TABLE 2: APPROVED SUP, CONSTRUCTED BUILDING, AND PROPOSED REQUEST

REQUIREMENT	SPECIFIC USE PERMIT	CONSTRUCTED	REQUESTED
SITE AREA	2.857-ACRES	2.857-ACRES	2.857-ACRES
BUILDING AREA	118,800 SF	119,000 SF	119,000 SF
MAXIMUM # OF UNITS	579-UNITS	778-UNITS	794-UNITS
MAX. UNIT DENSITY/ACRE	203-U/AC	272-U/AC	278-U/AC
PARKING REQUIREMENT	9 SPACES	9 SPACES (1)	9 SPACES (2)
OUTSIDE STORAGE	28-SPACES	29-SPACES	29-SPACES (2)

NOTES:

BLACK: IN CONFORMANCE WITH THE UDC REQUIREMENTS

RED: REQUIREMENTS NOT CONFORMING TO THE UDC

HIGHLIGHTED OR HIGHLIGHTED: CHANGES FROM APPROVED SPECIFIC USE PERMIT (SUP) AND ACTUAL CONSTRUCTION

(1): BASED ON THE NUMBER OF UNITS CONSTRUCTED THE REQUIREMENT WOULD HAVE BEEN FOR 12 PARKING SPACES.

(2): VARIANCE IS BEING REQUESTED

In summation, the applicant is requesting that the Planning and Zoning Commission and City Council approve a new Specific Use Permit (SUP) that will [1] increase the unit count from 579-units to 794-units, [2] increase the maximum unit density from 203-units/acre to 278-units/acre, [3] change the approved building square footage from 118,800 SF to 119,000 SF (*i.e. a new concept plan showing an as-built condition*), [4] grant a variance to the parking requirement allowing the site to be two (2) parking spaces deficient, and [5] increase the number of outside storage parking spaces from 28 to 29.

On October 17, 2020, staff mailed 23 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Meadow Creek Estates Homeowners Association (HOA), which is the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from the original developer (*and current minority owner*) of the project stating support for the proposed change. Should the Planning and Zoning Commission have any questions staff will be available at the Planning and Zoning Commission Work Session on November 10, 2020.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-043

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	1245 Highway 276				
Subdivision	Platinum Storage Addition	Lot	4	Block	A
General Location	Southeast of IH30, southwest of TL Townsend Drive				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Commercial (C) District	Current Use	Self-Storage (Mini-warehouse)		
Proposed Zoning	Commercial (C) District	Proposed Use	Self-Storage (Mini-warehouse)		
Acreage	2.857	Lots [Current]	1	Lots [Proposed]	1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Wolverine Self-Storage Investments-Rockwall EDP, LLC	<input checked="" type="checkbox"/> Applicant	Maxwell Fisher, AICP, Masterplan
Contact Person	Anthony Gould, General Partner/ Benjamin Carr, General Partner	Contact Person	Maxwell Fisher, AICP
Address	4057 Vega Loop	Address	2201 Main Street, Suite 1280
City, State & Zip	Shingle Springs, CA 95682	City, State & Zip	Dallas, TX 75201
Phone	530.409.8978	Phone	214.470.3972
E-Mail	gouldanthony@gmail.com/ benjamin.x.carr@gmail.com	E-Mail	maxwell@masterplantexas.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Anthony J. Gould [Owner] the undersigned, who stated the information on this application to be true and certified the following: #242.86

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 242.86, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 7 day of October, 2020.

Owner's Signature

Anthony J. Gould
CA

Notary Public in and for the State of TX

**SEE ATTACHED
NOTARY CERTIFICATE**

My Commission Expires 03/31/2022

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of El Dorado

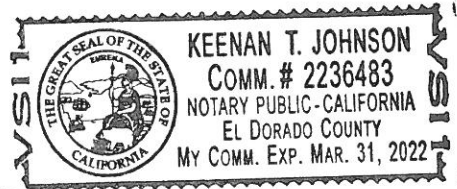
On 10/07/2020 before me, Keenan T. Johnson, Notary Public
(insert name and title of the officer)

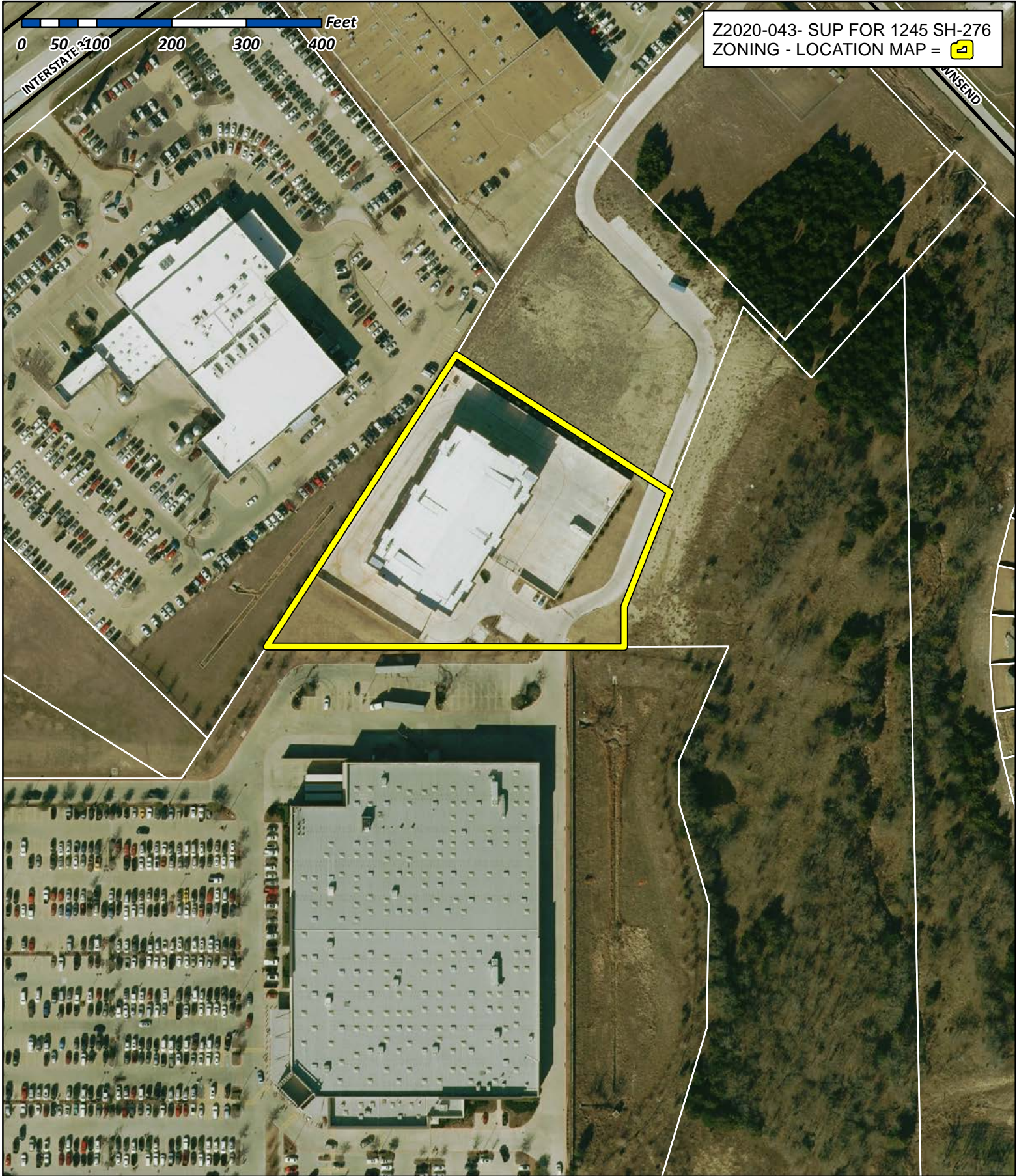
personally appeared Anthony J. Gould,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

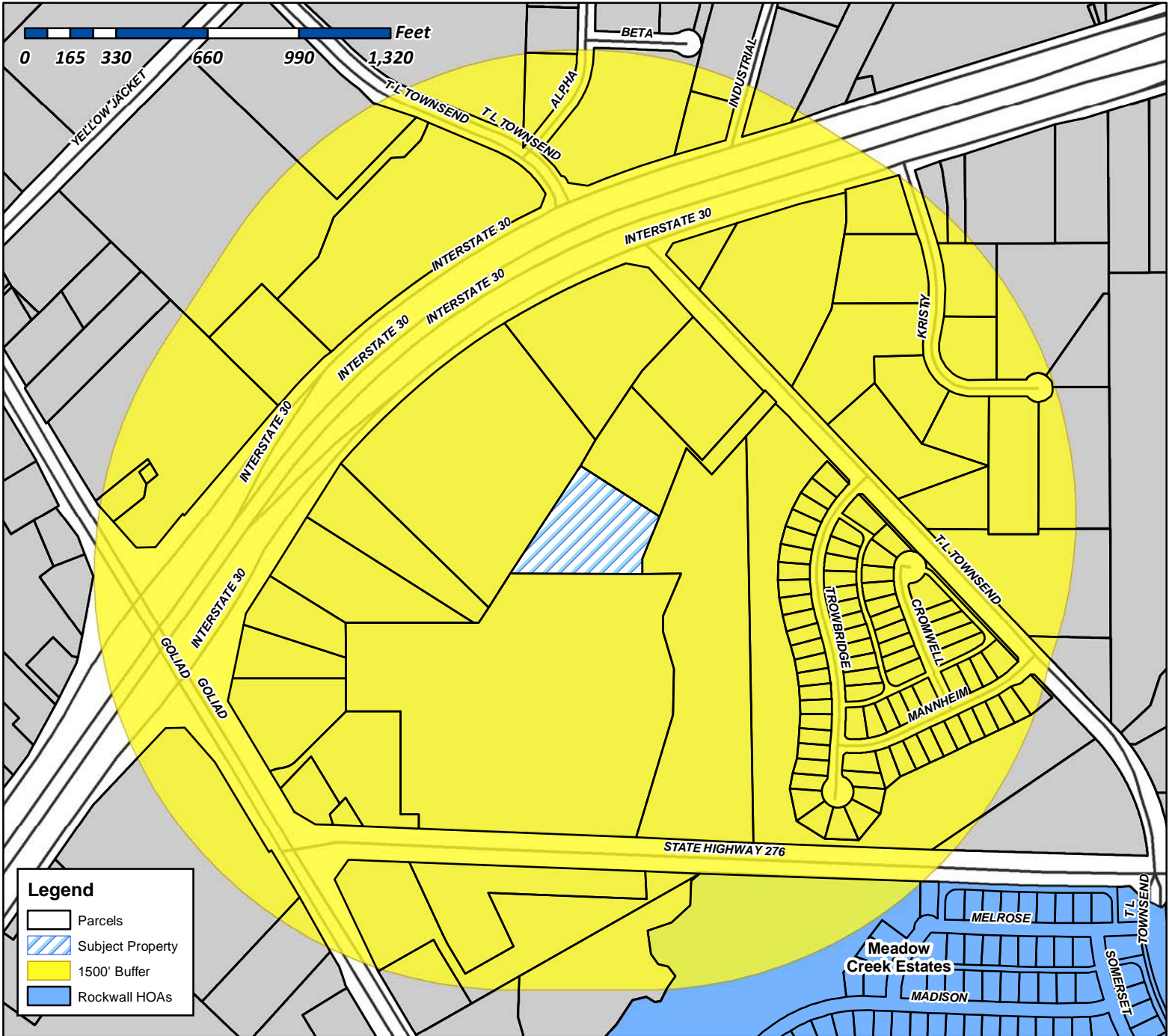




City of Rockwall

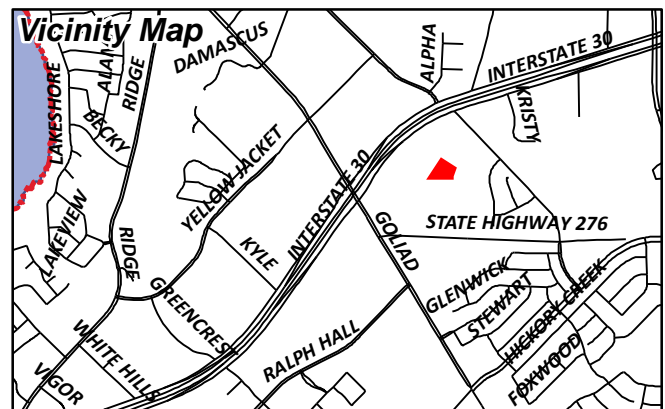
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-043
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1245 SH-276

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-043.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-043 Specific Use Permit for Mini-Storage

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing *Specific Use Permit* for the purpose of increasing the number of storage units permitted by *Ordinance No. 14-25* to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

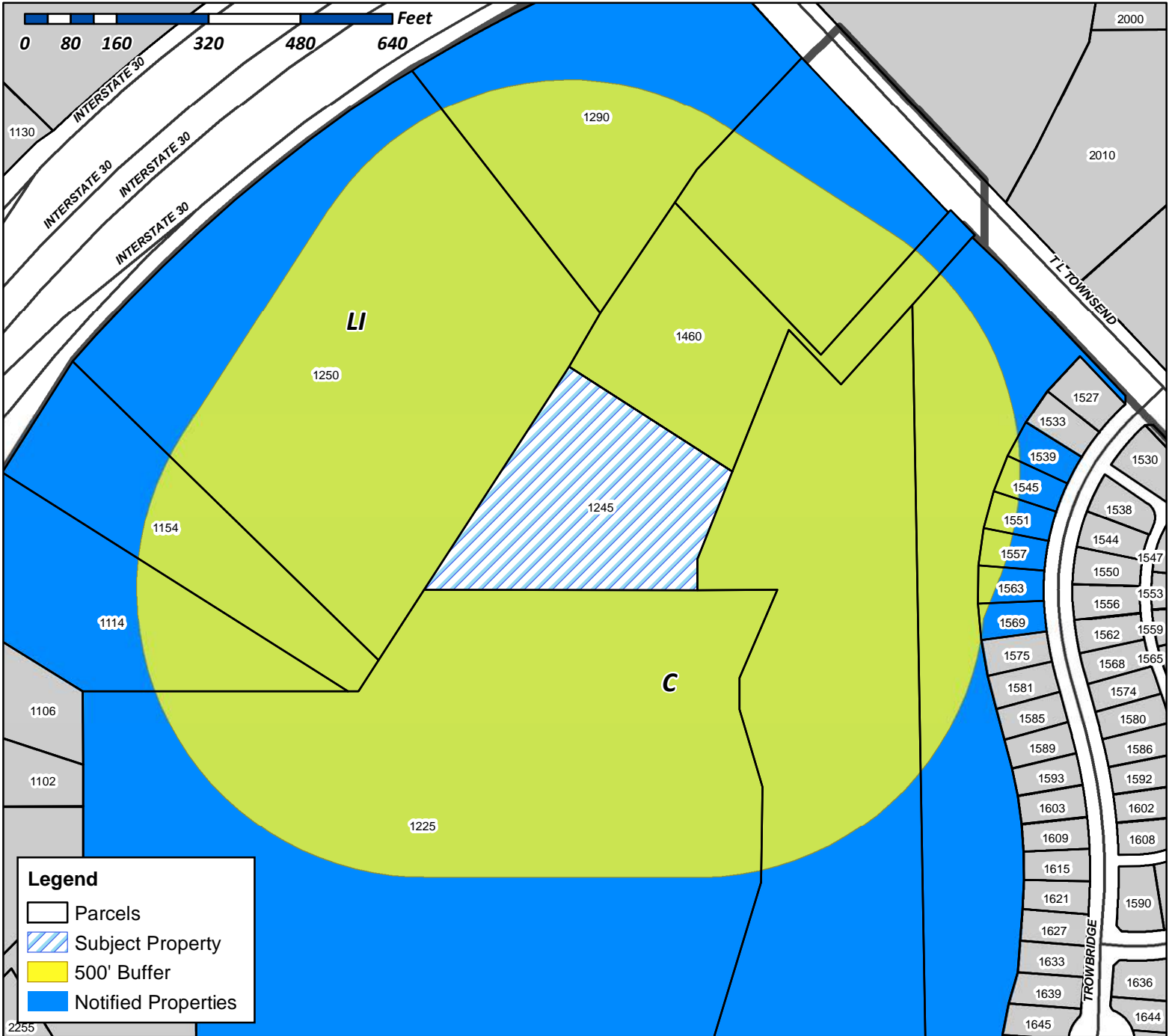
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

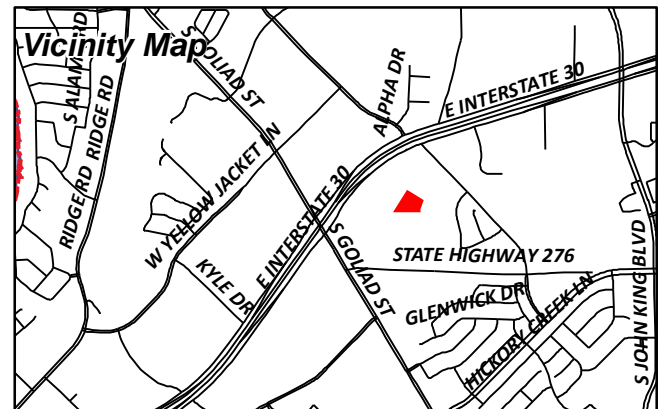
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-043
Case Name: SUP For Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1245 SH-276



Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

POTOMAC ROCKWALL PARTNERSHIP LP
10676 KING WILLIAM
DALLAS, TX 75220

COCKERILL CHRISTOPHER M AND JENNIFER
COCKERILL SMITH AND
EXEMPTION TRUST U/COCKERILL FAMILY 1981
TRUST
1114 E I30
ROCKWALL, TX 75032

POTOMAC ROCKWALL PARTNERSHIP LP
1154 E I30
ROCKWALL, TX 75032

COSTCO WHOLESALE CORP
PROPERTY TAX DEPT 1049
1225 HWY 276
ROCKWALL, TX 75032

WOLVERINE SELF-STORAGE INVESTMENTS-
ROCKWALL EDP LLC
ATTN: ANTHONY GOULD
1245 HWY276DR
ROCKWALL, TX 75032

JACKSON AUTOMOTIVE REAL ESTATE INV LLC
DBA TOYOTA OF ROCKWALL
1250 E INTERSTATE 30
ROCKWALL, TX 75087

CTE PHASE I LP
1290 I30
ROCKWALL, TX 75032

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

SARO PARTNERS LLC
1460 S TOWNSEND DR
ROCKWALL, TX 75032

FARR TRAVIS AND MELLISA
1539 TROWBRIDGE CIRCLE
ROCKWALL, TX 75032

COURT CRAIG B & MONDA J
1545 TROWBRIDGE CIRCLE
ROCKWALL, TX 75032

FENG YI
1551 TROWBRIDGECIR
ROCKWALL, TX 75032

MOTA SAMUEL ALVES AND LEIGH-ANNE
1557 TROWBRIDGE CIR
ROCKWALL, TX 75032

SCHULMAN SUN
1563 TROWBRIDGE CIR
ROCKWALL, TX 75032

SUN RAY
1569 TROWBRIDGECIR
ROCKWALL, TX 75032

CTMGT ROCKWALL 38 LLC
1800 VALLEY VIEW LN SUITE 300
FARMERS BRANCH, TX 75234

CITY OF HEATH
200 LAURENCE DRIVE
HEATH, TX 75032

CTE PHASE I LP
2266 LAFAYETTE LNDG
ROCKWALL, TX 75032

FENG YI
2757 SCENIC DR
PLANO, TX 75025

COCKERILL CHRISTOPHER M AND JENNIFER
COCKERILL SMITH AND
EXEMPTION TRUST U/COCKERILL FAMILY 1981
TRUST
311 BILTMORE WAY
LAFAYETTE, LA 70508

SUN RAY
3409 CALEO CT
PLANO, TX 75025

WOLVERINE SELF-STORAGE INVESTMENTS-
ROCKWALL EDP LLC
ATTN: ANTHONY GOULD
4057 VEGA LOOP
SHINGLE SPRINGS, CA 95682

COSTCO WHOLESALE CORP
PROPERTY TAX DEPT 1049
999 LAKE DR
ISSAQUAH, WA 98027

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-043: Specific Use Permit for Mini-Storage

Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1245 SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-043: Specific Use Permit for Mini-Storage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-043: Specific Use Permit for Mini-Storage

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

THIS HAS BEEN A GOOD ADDITION TO THE AREA AND HARMONIOUSLY BLENDS.

Name: Shawn Vuk
Address: 1450 S TL TOWNSEND #100 Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CITY OF ROCKWALL

ORDINANCE NO. 14-25

SPECIFIC USE PERMIT NO. S-121

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) TO ALLOW A MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT AS SPECIFIED WITHIN ARTICLE IV, *PERMISSIBLE USES*, OF THE UNIFIED DEVELOPMENT CODE, FOR A 2.857-ACRE TRACT OF LAND, BEING A PORTION OF A LARGER 5.549-ACRE TRACT OF LAND IDENTIFIED AS PART OF TRACT 2 OF THE J. CADLE SURVEY, ABSTRACT NO. 65, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Master Plan, on behalf of Rockwall SH-205 Venture, LLC for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger 5.549-acre tract land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, which is generally located south of the intersection of the IH-30 Frontage Road and Townsend Drive, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the construction of a mini-warehouse facility within a Commercial (C) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and set forth in Section 2.1.10, *Wholesale, Distribution and Storage*, of Article IV, *Permissible Uses*, of the Unified Development Code

[*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions and compliance standards:

2.1 Operational Conditions

The following conditions pertain to the operation of a mini-warehouse facility on the *Subject Property*, and conformance to these operational conditions are required for continued operations:

- 1) Prior to the issuance of a building permit a site plan conforming to the requirements stipulated by the Unified Development Code [*Ordinance No. 04-38*] shall be submitted and approved by the Planning & Zoning Commission, and if necessary City Council.
- 2) All construction and operations on this property shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- 3) The building elevations submitted with the site plan shall strictly adhere to the Concept Building Elevations depicted in *Exhibit 'C'* of this ordinance, unless required to be modified to conform to the recommendations of the Planning & Zoning Commission and/or City Council.
- 4) The maximum number of storage units provided shall not exceed 579 units for the facility.
- 5) All transparent fences shall be wrought iron or similar, and when necessary incorporate landscaping/living screening to screen the interior of the facility. Chain-link fencing shall be prohibited.
- 6) The height of the building shall not exceed four (4) stories or 60-feet in total height.
- 7) Outside storage shall be limited to the areas depicted on the Concept Plan in Exhibit 'A', and shall be entirely screened by a row of evergreen trees (i.e. Leyland Cypress) to be planted along the eastern property line. No outside storage of any kind shall be permitted outside of the areas depicted on the Concept Plan. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- 8) Businesses shall not be allowed to operate within individual storage units.
- 9) The commercial operation of rental trucks and trailers shall be prohibited.
- 10) All signage shall be required to conform to the requirements stipulated by the Code of Ordinances. Additionally, pole signage shall be prohibited on this site.
- 11) All light poles shall be limited to a maximum height of 20-feet and all light fixtures proposed for the site shall comply with the requirements of Article VII, *Environmental Performance*, of the Unified Development Code.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

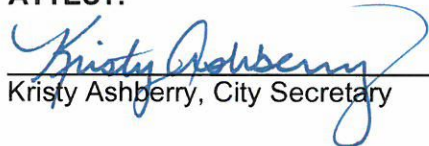
Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JULY, 2014.**



David Sweet, Mayor

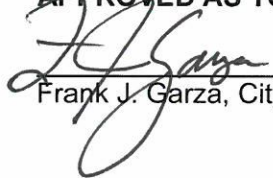
ATTEST:



Kristy Ashberry, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: June 16, 2014

2nd Reading: July 7, 2014

Exhibit A: Legal Description

BEING a 2.857 acre tract of land, being a portion of a 5.549 acres tract of land recorded in instrument No. 2013-480420, situated in the JOSEPH CADLE SURVEY, ABST#65 and the N.M. BALLARD SURVEY ABST. #48, in the City of Rockwall, Rockwall County, Texas, and being a portion of a 65.96 tract of land recorded in Volume 4663, page 281 of the Official Public Records of Rockwall County, Texas and being all and being more particularly described as follows:

BEGINNING at 5/8 inch iron rod set for the northerly northwest corner of Lot 1, Block 1 of Rockwall Centre Corners Addition according to the plat recorded in Cabinet G, Slide 299 of the Plat Records of Rockwall County, Texas and being located in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas;

THENCE along the southeasterly line of said Toyota of Rockwall Addition, NORTH 33°54'52" EAST a distance of 460.20 feet to a 5/8 inch iron rod to be set in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas and being the west corner of a 2.692 acre tract being a portion of a 5.549 acre tract of land recoded in instrument No. 2013-480420 Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southeasterly line of said Lot 1, Block 1, SOUTH 56°05'08" EAST a distance of 339.05 feet to a 5/8 inch iron road to be set in the southwest line of said 65.96 acre tract of land being the southeast corner of a 2.692 acre tract being a portion of a 5.549 acre tract of land recoded in instrument No. 2013-480420 Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southwest corner of said 2.692 acre tract of land and traveling through said 65.96 acre tract of land the following course and distances:

SOUTH 22°36'40" WEST a distance of 158.90 feet to a 5/8 inch iron rod set;

SOUTH 00°57'44" WEST a distance of 54.05 feet to a 5/8 inch iron rod set in the north line of said Lot 1 of Rockwall Centre Corners Addition;

THENCE along said north line, NORTH 89°02'16" WEST a distance of 476.20 feet to the POINT OF BEGINNING;

Exhibit B: Concept Plan

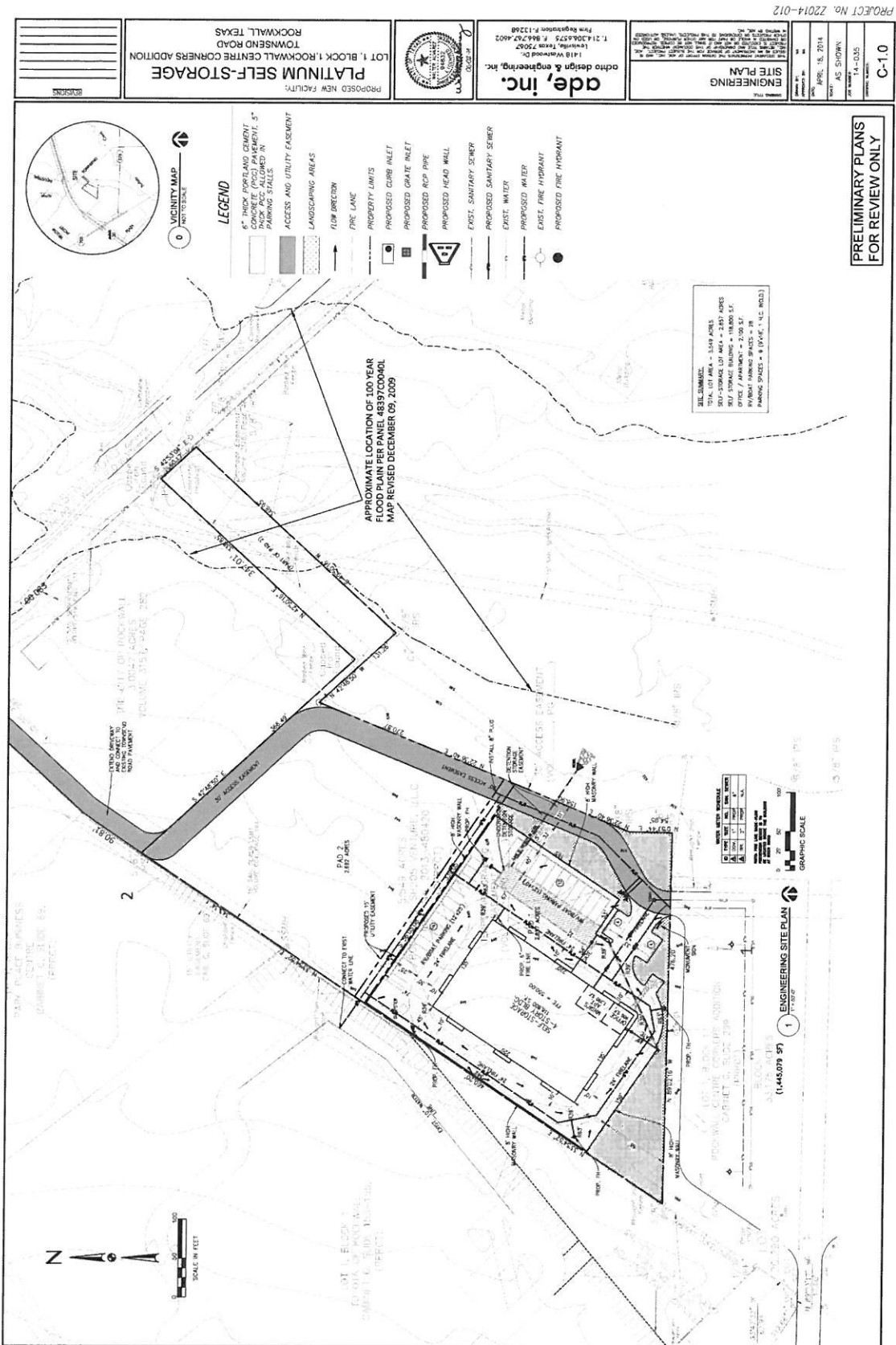


Exhibit C: Concept Building Elevations

REVISION NO. _____ _____ _____ _____ _____ _____ _____ _____ _____ _____	PROPOSED NEW FACILITY: SELF-STORAGE TOWNSEND ROAD ROCKWALL, TEXAS	BUILDING SYSTEMS, LLC CONCEPTUAL ELEVATIONS DATE: 06/03/2014 SCALE: AS SHOWN DRAWN: J.S. JOB: 10014 SHEET: A4	1700 W. TOWNSEND ROAD ROCKWALL, TEXAS 75087 WWW.BUILDINGSYSTEMS.COM
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PRELIMINARY - NOT FOR CONSTRUCTION



1 EAST ELEVATION
NOT TO SCALE



2 SOUTH ELEVATION
NOT TO SCALE



3 PERSPECTIVE VIEW
NOT TO SCALE

CASE NUMBER: Z2014-012

PROPOSED NEW FACILITY FOR: PLATINUM SELF-STORAGE

TOWNSEND RD.
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



1 NE PERSPECTIVE VIEW
NOT TO SCALE

AREA SUMMARY				
DESCRIPTION	AREA (SF.)			
OFFICE (AT FIRST FLOOR)	750			
FIRST FLOOR	30,310			
SECOND FLOOR	31,120			
THIRD FLOOR	31,120			
FOURTH FLOOR	31,120			
TOTAL BUILDING AREA	124,480			
SITE INFORMATION: TOTAL LOT AREA = 5,549 ACRES				
PARKING				
ITEM	REQUIRED	PROVIDED		
SELF-STORAGE	NONE	6 SPACES		
OFFICE	1 SF. / 300 SF. = 750 / 300 = 3	3 SPACES		
TOTAL SPACES PROVIDED		9 SPACES (1) ADA INCLUDED		
BUILDING CODE DATA				
BUILDING	GROUP	STORY	CONST.	SFRK.
OFFICE AREA	B	1-STORY	II-A	YES
STORAGE AREA	S-1	4-STORY	II-A	YES
SFRK. = PROVIDED WITH FIRE SPRINKLER NFPA 13 WET SYSTEM				

ALLOWABLE BUILDING AREA & HEIGHT PER 2009 IBC	
GROUP	S-1 (STORAGE)
CONSTRUCTION TYPE	IIA
FIRE SPRINKLER SYSTEM	YES
TABULAR AREA PER FLOOR	26,000 SF.
FIRE SPRINKLER AREA INCREASE	200%
TOTAL AREA ALLOWABLE PER FLOOR	52,000 SF.
PROPOSED MAX. AREA PER FLOOR	31,120 SF.
ALLOWABLE MAX. BUILDING HEIGHT	65 FEET
PROPOSED MAX. BUILDING HEIGHT	50 FEET
MAXIMUM NUMBER OF STORIES	4 STORIES
PROPOSED NUMBER OF STORIES	4 STORIES
DATA USED, PER 2009 IBC SECT. 503 & 506	

MEANS OF EGRESS - SELF STORAGE	
FUNCTION OF SPACE	WAREHOUSE
FLOOR AREA SF. PER OCCUPANT	500 GROSS
TOTAL FLOOR AREA SF.	123,130 SF.
TOTAL OCCUPANT LOAD	246 OCCUPANTS
MINIMUM REQUIRED EGRESS WIDTH (STAIRS)	73.8 INCHES
EGRESS WIDTH PROVIDED (2 STAIRWAYS)	48 INCHES X 2 = 96 INCHES
MINIMUM REQUIRED EGRESS WIDTH (DOORS)	49.2 INCHES
EGRESS WIDTH PROVIDED (6 ENTRANCES)	576 INCHES (6 x 8' DOORS)
ACCESSIBLE MEANS OF EGRESS	2 STAIRWAYS WITH REFUGES
BUILDING IS PROVIDED WITH AUTOMATIC FIRE SPRINKLER SYSTEM, THROUGHOUT.	

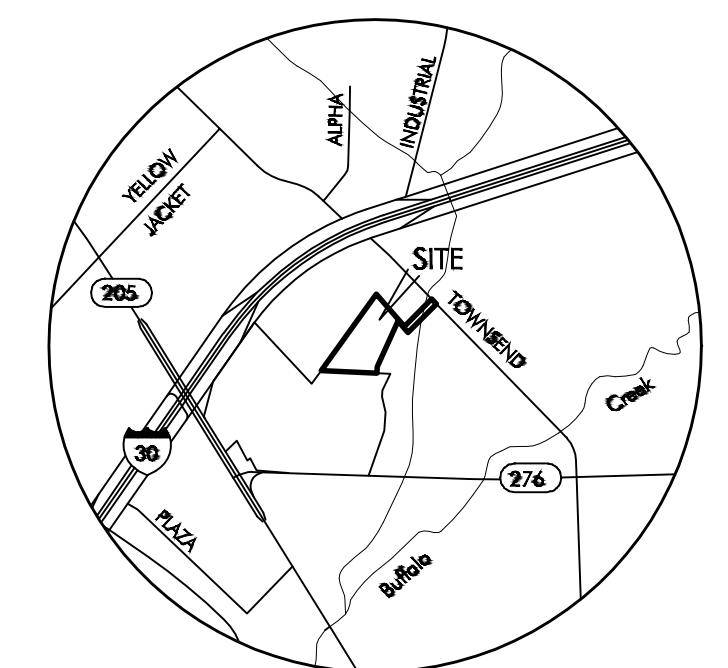
MEANS OF EGRESS - OFFICE	
FUNCTION OF SPACE	BUSINESS
FLOOR AREA SF. PER OCCUPANT	100 GROSS
TOTAL FLOOR AREA SF.	750 SF.
TOTAL OCCUPANT LOAD	8 OCCUPANTS
MINIMUM REQUIRED EGRESS WIDTH (DOORS)	16 INCHES
EGRESS WIDTH PROVIDED (ENTRANCE DOOR)	36 INCHES
ACCESSIBLE MEANS OF EGRESS	RAMP PROVIDED

TDLR NUMBER: EABPRJB5813898

DATE: MAY, 2015

DRAWING INDEX		
1	COVER	COVER SHEET WITH APPLICABLE CODES
2	A10	ARCHITECTURAL SITE PLAN
3	A11	FLOOR PLAN - FIRST LEVEL
4	A12	FLOOR PLAN - SECOND LEVEL
5	A13	FLOOR PLAN - THIRD LEVEL
6	A14	FLOOR PLAN - FOURTH LEVEL
7	A15	ROOF PLAN
8	A21	EXTERIOR ELEVATIONS
9	A22	EXTERIOR ELEVATIONS
10	A31	ENLARGED FLOOR PLANS - OFFICE & RESTROOMS
11	A32	STAIRS DETAILS
12	A33	DOORS & WINDOWS
13	A34	INTERIOR ELEVATIONS
14	A35	WALL SECTION
15	A41	INTERIOR FINISH PLAN
16	A42	CEILING PLAN
17	A51	FIRE RATING DETAILS
18	A52	ACCESSIBILITY STANDARDS
19	A53	ACCESSIBILITY STANDARDS
20	A61	LIFE SAFETY PLAN - 1ST. LEVEL
21	A62	LIFE SAFETY PLAN - 2ND. LEVEL
22	A63	LIFE SAFETY PLAN - 3RD. LEVEL
23	A64	LIFE SAFETY PLAN - 4TH. LEVEL
24	M10	MECHANICAL NOTES & SCHEDULES
25	M11	MECHANICAL EQUIPMENT SCHEDULE
26	M20	MECHANICAL FIRST LEVEL
27	M21	MECHANICAL SECOND LEVEL
28	M22	MECHANICAL THIRD LEVEL
29	M23	MECHANICAL FOURTH LEVEL
30	M24	MECHANICAL ROOF PLAN
31	M25	MECHANICAL FIRST LEVEL
32	E10	ONE LINE DIAGRAM & LOAD ANALYSIS
33	E11	ELECTRICAL NOTES & SYMBOL
34	E20	ELECTRICAL ENLARGED FIRST LEVEL
35	E21	ELECTRICAL FIRST LEVEL
36	E22	ELECTRICAL SECOND LEVEL
37	E23	ELECTRICAL THIRD LEVEL
38	E24	ELECTRICAL FOURTH LEVEL
39	E25	ELECTRICAL ROOF PLAN
40	E30	ELECTRICAL SITE PLAN
41	E31	PHOTOMETRIC PLAN
42	E40	ELECTRICAL PANELS
43	F10	PLUMBING NOTES & LEGEND
44	F11	PLUMBING SIZES
45	F20	SAN. SEWER FIRST FLOOR PLAN
46	F21	SAN. SEWER SECOND FLOOR PLAN
47	F22	SAN. SEWER THIRD FLOOR PLAN
48	F23	SAN. SEWER FOURTH FLOOR PLAN
49	F30	DOM. WATER FIRST FLOOR PLAN
50	F31	DOM. WATER SECOND FLOOR PLAN
51	F32	DOM. WATER THIRD FLOOR PLAN
52	F33	DOM. WATER FOURTH FLOOR PLAN
53	F40	PLUMBING RISERS & DETAIL
54	F41	PLUMBING DETAILS
55	F50	PLUMBING SITE PLAN
56	S10	STRUCTURAL - NOTES & SCHEDULES
57	S11	STRUCTURAL - FOUNDATION PLAN
58	S12	STRUCTURAL - FOUNDATION DIMENSION PLAN
59	S13	STRUCTURAL - FOUNDATION DETAILS
60	S20	FRAMING PLAN - LEVEL 1 SUPPORTING LEVEL 2 SLAB
61	S21	FRAMING PLAN - LEVEL 2 SUPPORTING LEVEL 3 SLAB
62	S22	FRAMING PLAN - LEVEL 3 SUPPORTING LEVEL 4 SLAB
63	S23	STRUCTURAL - TYPICAL SUPPORTING ROOF
64	S24	STRUCTURAL - TYPICAL BUILDING SECTION
65	S30	STRUCTURAL - FRAMING CONNECTION DETAILS
66	S31	STRUCTURAL - FRAMING DETAILS
67	S32	STRUCTURAL - PARTITION CONNECTION DETAILS
68	S33	STRUCTURAL - ELEVATOR DETAILS

CIVIL DRAWINGS UNDER SEPARATE SET.



0 VICINITY MAP
NOT TO SCALE

GENERAL CONTRACTOR:

PLATINUM SELF-STORAGE
1834 F.M. 551
FATE, TX 75189
PHONE: (469) 718-0451
CONTACT: SHAWN VALK

OWNER:

PLATINUM SELF-STORAGE
CONTACT: SHAWN
PH: (469) 222-1597

BUILDING CODE DATA:

2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL PLUMBING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2009 INTERNATIONAL FUEL CODE
2008 NATIONAL ELECTRICAL CODE
2012 TEXAS ACCESSIBILITY STANDARDS

CONSULTANTS:

DESIGN & ARCHITECTURAL

JL BUILDING SYSTEMS, LLC.
& PAUL DEELEY, ARCH.
CONTACT: JOSE LABASTIDA
4700 KEMBLE ST.
FORT WORTH, TX 76103
PHONE: (817) 534-6579

STRUCTURAL

BLAKE WILSON ENGINEERING, PLLC
BLAKE WILSON, PE
637 W. HURST BLVD.
HURST, TX 76053
PHONE: (817) 268-2345

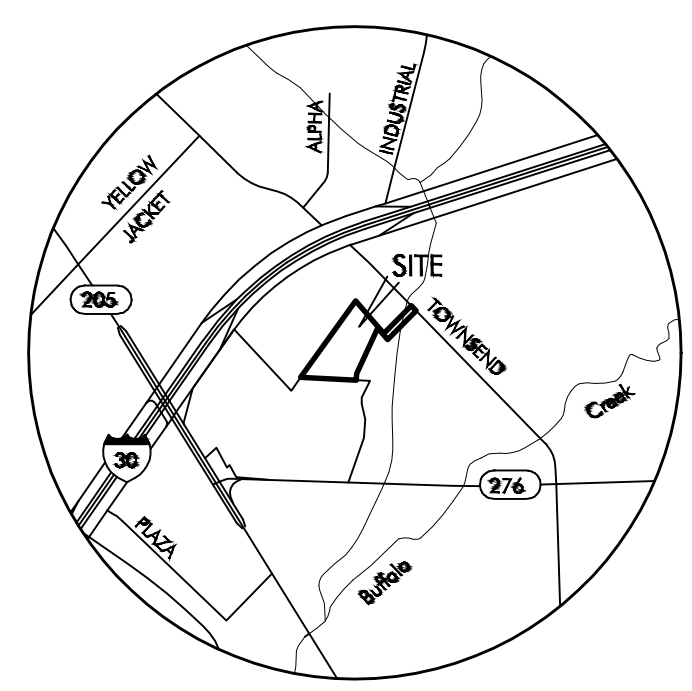
MEP

MEP GREEN DESIGNS, PLLC
DUNG DUC VU, P.E.
14047 EL CAMINO REAL, STE. 211
HOUSTON, TX 77058
PHONE: (817) 534-6579



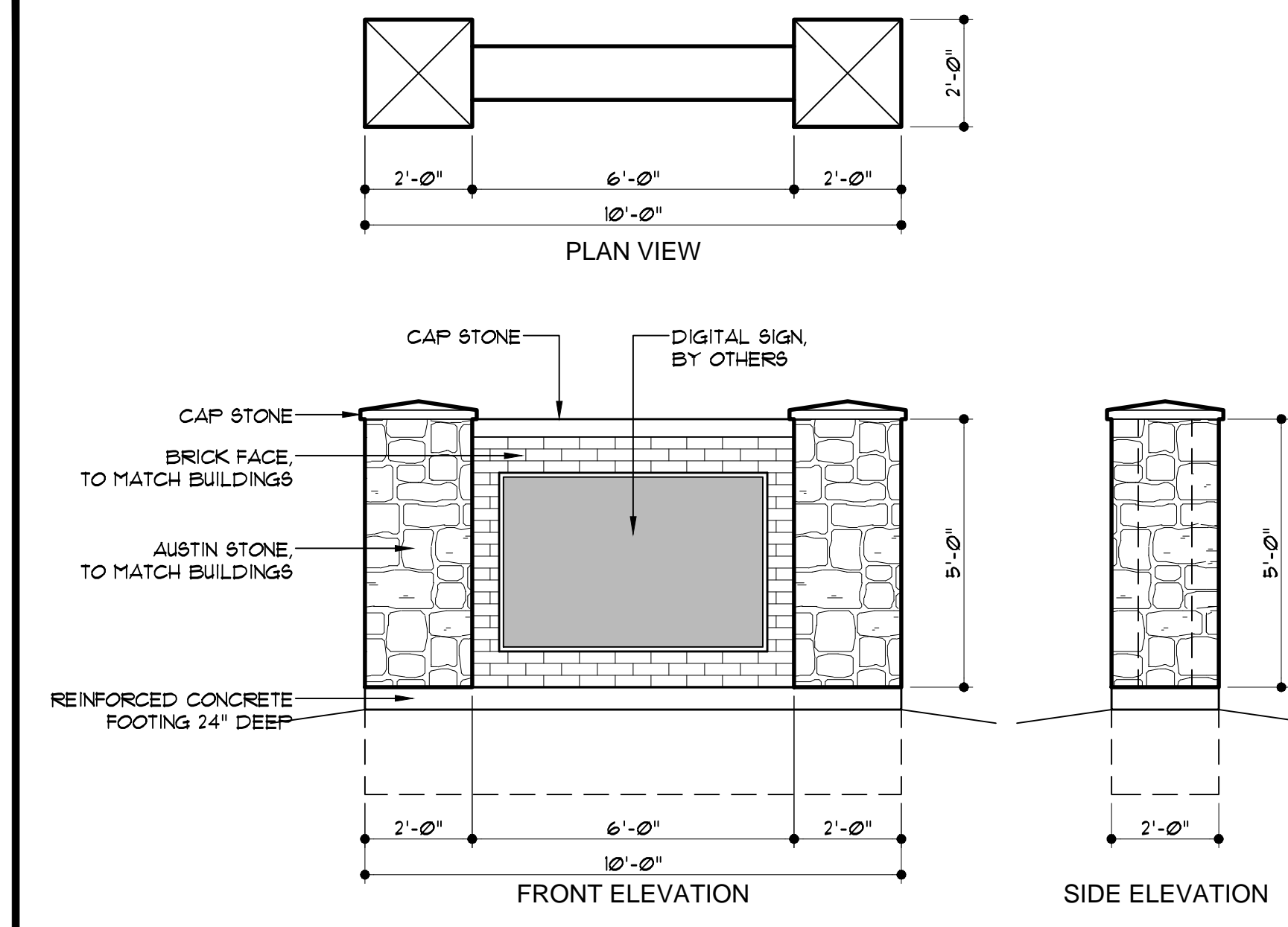
4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-534-6579
FAX: 817-386-5365
WWW.JLBUILDSYS.COM

NO.	REVISION
1	07-24-2015
2	08-14-2015

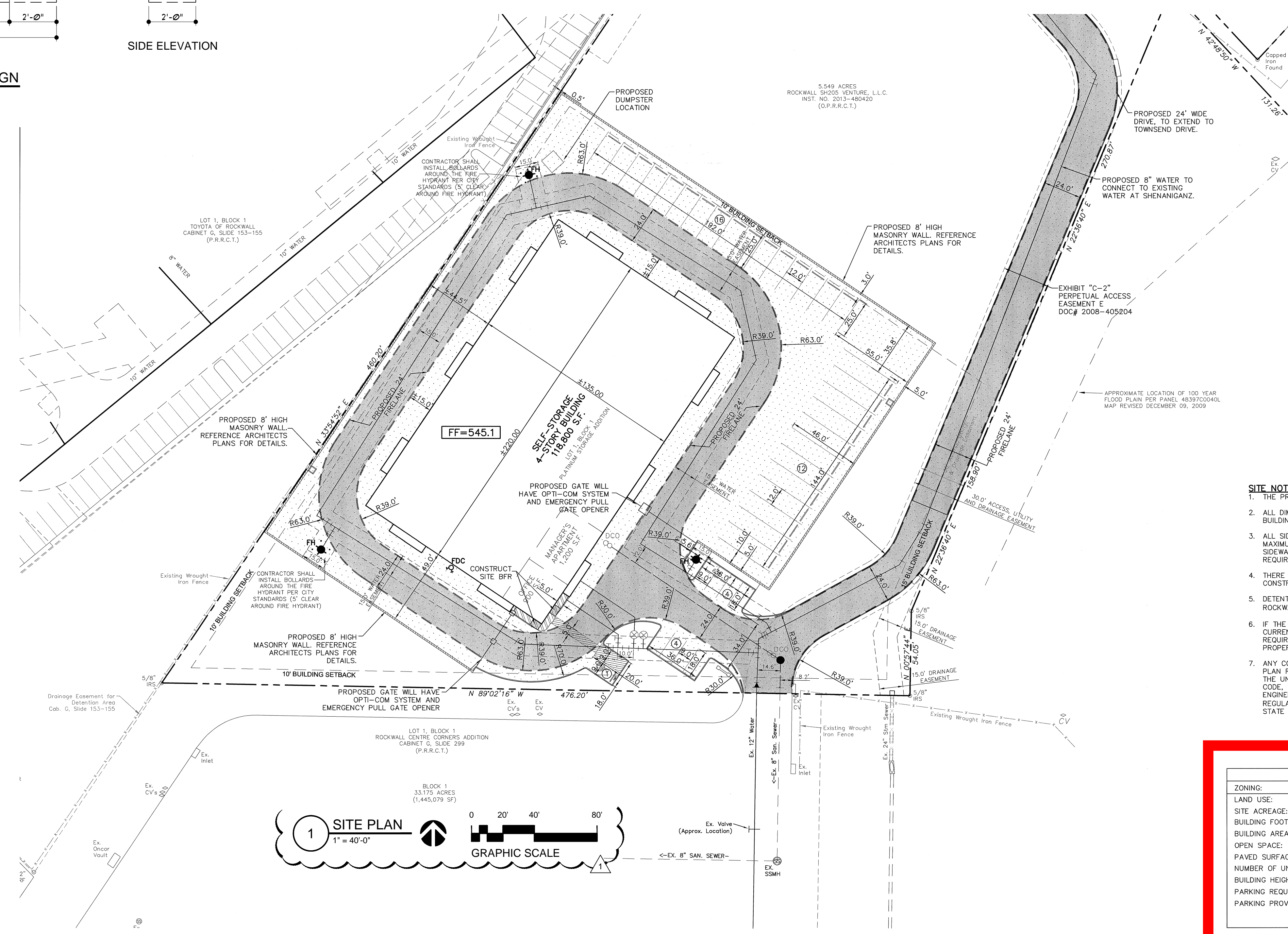


0 VICINITY MAP
NOT TO SCALE

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087



2 MONUMENT SIGN
3/8" = 1'-0"



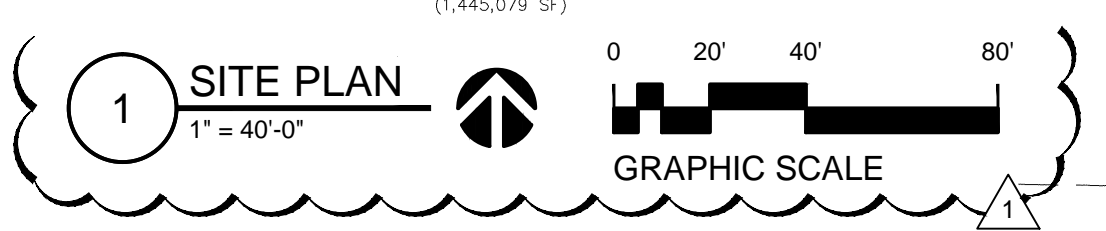
LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPOSED BARRIER FREE RAMP
- PARKING SPACES IN A ROW
- PROPOSED LANDSCAPING
- 3000 PSI CONCRETE WITH NO. 3 BARS - AT 24" CENTERS EACH WAY (MIN. 5.5 SACK MIX)
- 3600 PSI CONCRETE WITH NO. 3 BARS AT 24" CENTERS EACH WAY (MIN. 6.5 SACK MIX)
- PROPOSED FIRE LANE

- SITE NOTES:**
- THE PROPOSED BUILDING WILL BE FIRE SPRINKLERED.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ECT AS REQUIRED BY CODE.
 - THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 - DETENTION WILL BE PROVIDED AS REQUIRED, PER THE CITY OF ROCKWALL'S ENGINEERING DEPARTMENT.
 - IF THE DRIVEWAY AT TOWNSEND DRIVE DOES NOT MEET THE CITY'S CURRENT REQUIREMENTS FOR FIRE LANE, THE APPLICANT WILL BE REQUIRED TO UPGRADE THE DRIVEWAY TO ENSURE THE SUBJECT PROPERTY HAS PROPER FIRE PROTECTION.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS SITE PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNITED DEVELOPMENT CODE, THE 2009 INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.

SITE DATA TABLE FOR LOT 1

ZONING:	SUP NO.:
SELF STORAGE	S-121
LAND USE:	2,857 ACRES (124,468 SQ FT)
SITE ACREAGE:	30,700 SQUARE FEET
BUILDING FOOTPRINT:	122,800 SQUARE FEET
BUILDING AREA:	43,254/124,468 : 34%
OPEN SPACE:	50,513/124,468 : 40%
PAVED SURFACE AREA:	579
NUMBER OF UNITS:	4 STORIES (50' 00" HEIGHT)
BUILDING HEIGHT:	MINIMUM 2 PARKING SPACES
PARKING REQUIRED:	28 RV/BOAT PARKING SPACES
PARKING PROVIDED:	9-9'x18' PARKING SPACES (1 HANDICAPPED INCLUDED)

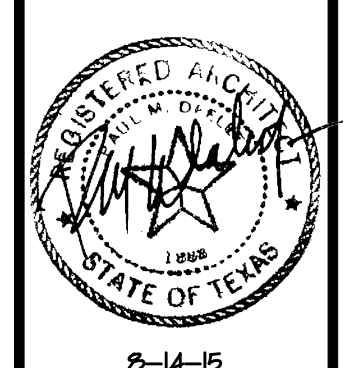


!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN; IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

ENGINEER:
CUMULUS DESIGN, INC.
FIRM #14810
P.O. BOX 2119
EULESS, TEXAS 76039
PH: 214-235-0367
FAX: 214-235-0546

OWNER:
RON VALK
1834 S.FM 551
FATE, TEXAS 75189

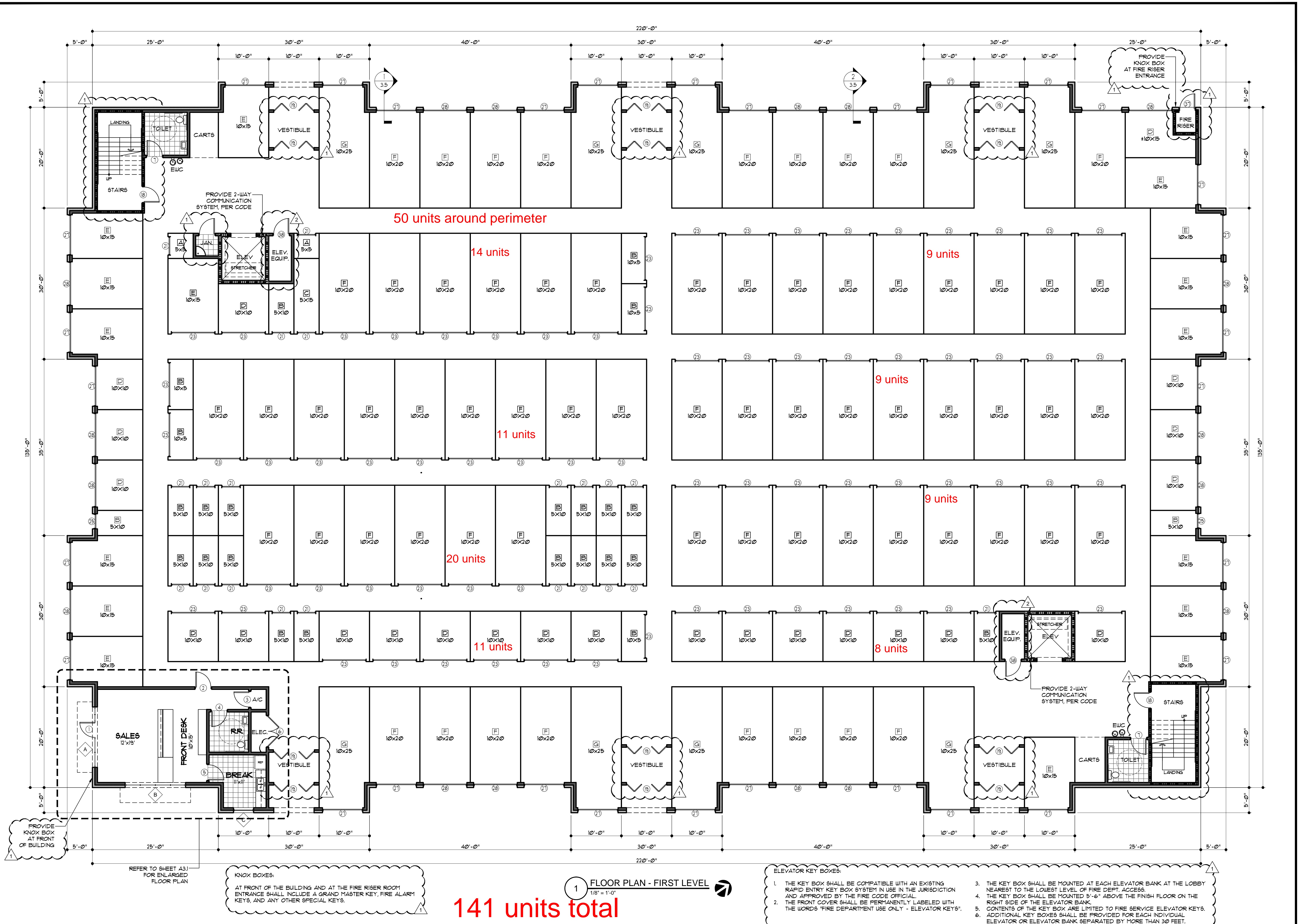


4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-338-6596
FAX: 817-338-6595
WWW.JLBSYSTEMS.COM



FLOOR PLAN
1ST. LEVEL

Date 04-16-2015
Scale As Noted
Drawn JLL
Job 14014
Sheet A1.0



50 units around perimeter

14 units

9 units

9 units

11 units

20 units

11 units

8 units

141 units total

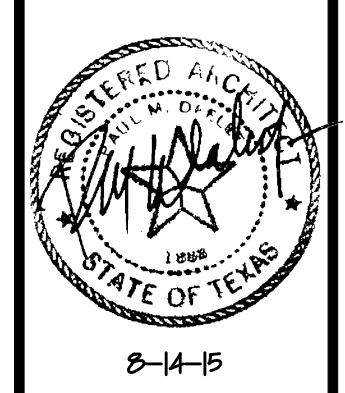
1 FLOOR PLAN - FIRST LEVEL
1/8" = 1'-0"

KNOX BOXES:
AT FRONT OF THE BUILDING AND AT THE FIRE RISER ROOM ENTRANCE SHALL INCLUDE A GRAND MASTER KEY, FIRE ALARM KEYS, AND ANY OTHER SPECIAL KEYS.

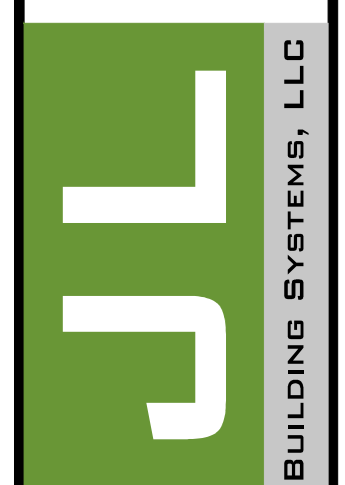
- ELEVATOR KEY BOXES:
1. THE KEY BOX SHALL BE COMPATIBLE WITH AN EXISTING RAPID ENTRY KEY BOX SYSTEM IN USE IN THE JURISDICTION AND APPROVED BY THE FIRE CODE OFFICIAL.
 2. THE FRONT COVER SHALL BE PERMANENTLY LABELED WITH THE WORDS "FIRE DEPARTMENT USE ONLY - ELEVATOR KEYS".
 3. THE KEY BOX SHALL BE MOUNTED AT EACH ELEVATOR BANK AT THE LOBBY NEAREST TO THE LOWEST LEVEL OF FIRE DEPT. ACCESS.
 4. THE KEY BOX SHALL BE MOUNTED 5'-6" ABOVE THE FINISH FLOOR ON THE RIGHT SIDE OF THE ELEVATOR BANK.
 5. CONTENTS OF THE KEY BOX ARE LIMITED TO FIRE SERVICE ELEVATOR KEYS. ADDITIONAL KEY BOXES SHALL BE PROVIDED FOR EACH INDIVIDUAL ELEVATOR OR ELEVATOR BANK SEPARATED BY MORE THAN 30 FEET.
 - 6.

NO.	REVISION
1	07-24-2015
2	08-14-2015

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087

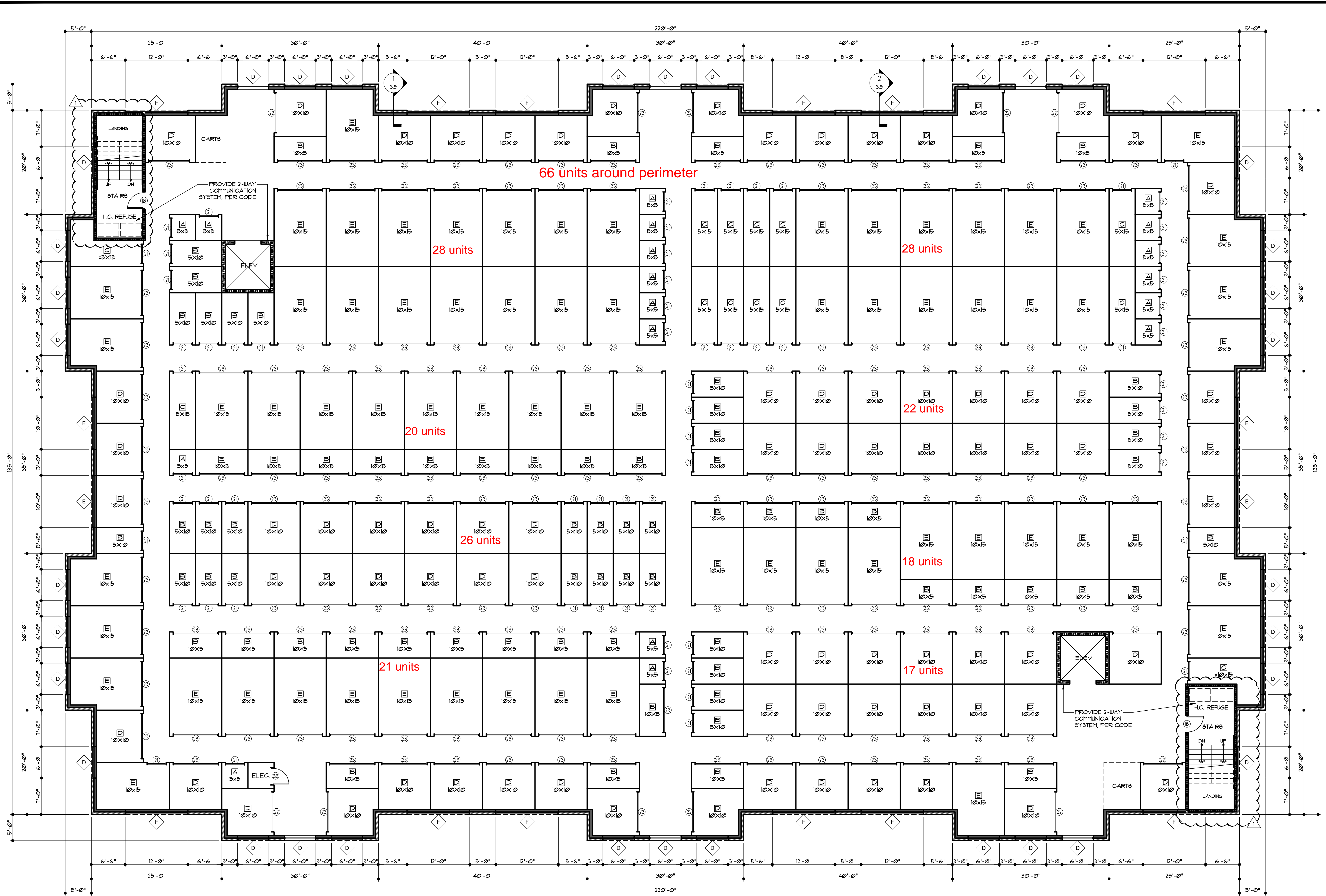


4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-338-6596
FAX: 817-338-6595
WWW.JLBSYS.COM



FLOOR PLAN
1ST. LEVEL

Date	04-16-2015
Scale	As Noted
Drawn	JLL
Job	14014
Sheet	A1.1

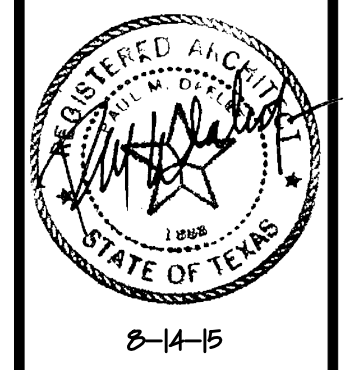


246 units total

1 FLOOR PLAN - SECOND LEVEL
1/8" = 1'-0"

NO.	REVISION
1	07-24-2015
2	08-14-2015

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087



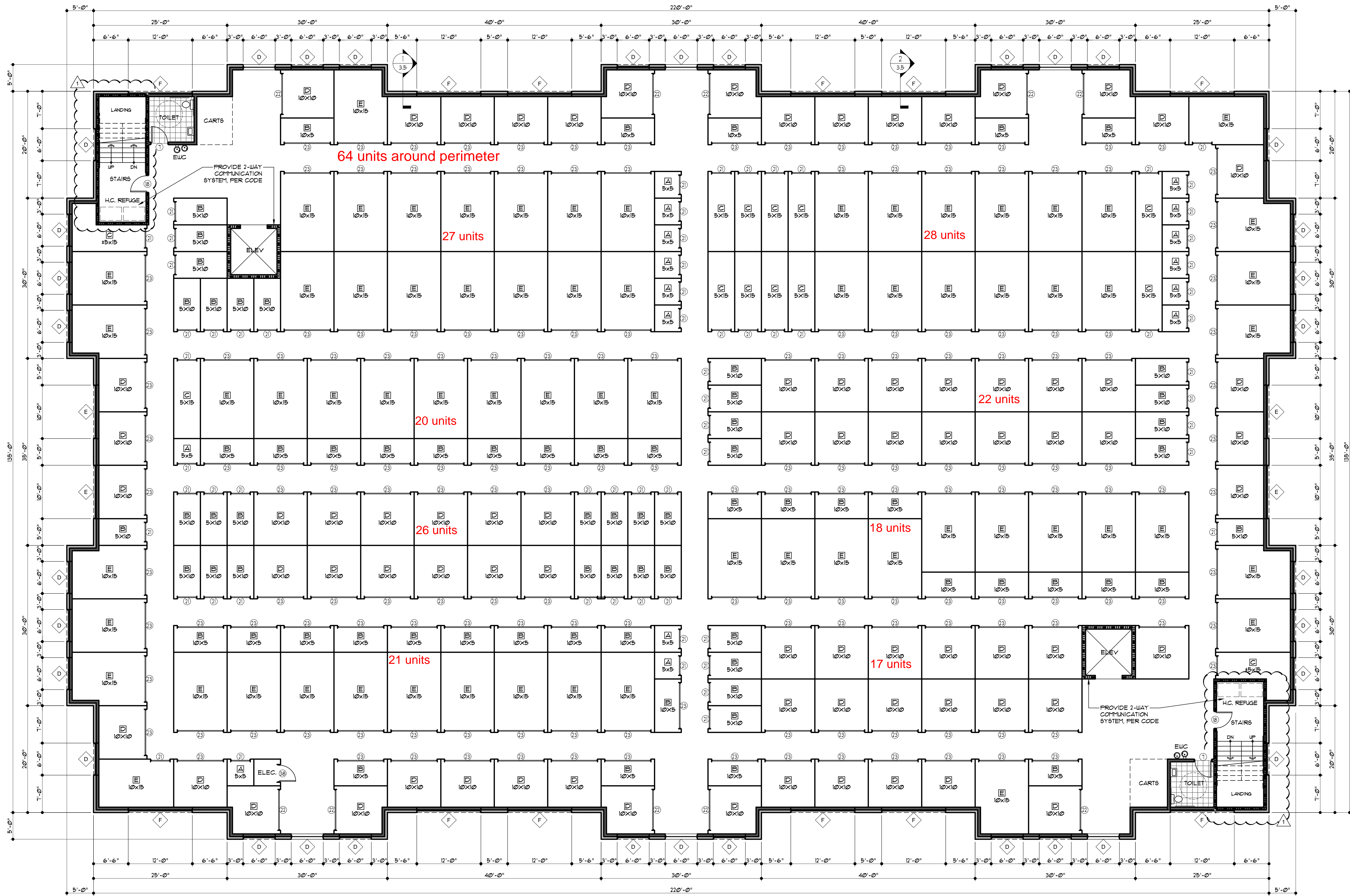
4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-338-6596
FAX: 817-338-6595
WWW.ALBUILDERS.COM



FLOOR PLAN
2ND. LEVEL

Date	04-16-2015
Scale	As Noted
Drawn	JLL
Job	14014
Sheet	

A1.2



64 units around perimeter

27 units

28 units

22 units

20 units

18 units

26 units

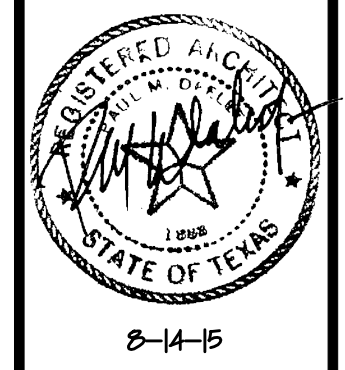
17 units

241 units total

1 FLOOR PLAN - THIRD LEVEL
1/8" = 1'-0"

NO.	REVISION
1	07-24-2015
2	08-14-2015

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087



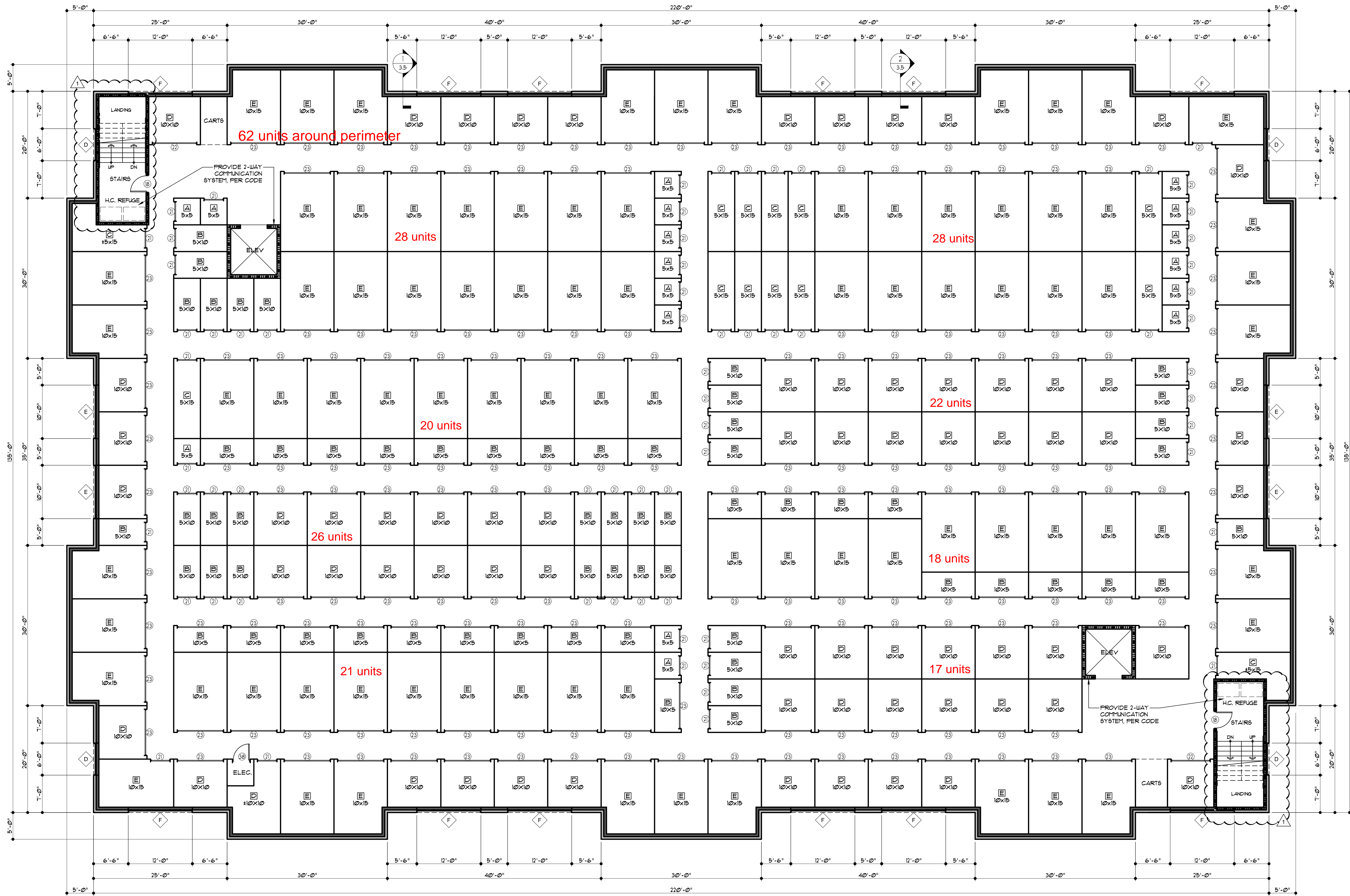
4700 KEMBLE ST.
FORT WORTH, TX 76103
PH: 817-386-6596
FAX: 817-386-6595
WWW.ALBUILDERS.COM



FLOOR PLAN
3RD. LEVEL

Date	04-16-2015
Scale	As Noted
Drawn	JLL
Job	14014
Sheet	

A1.3



62 units around perimeter

28 units

20 units

26 units

21 units

22 units

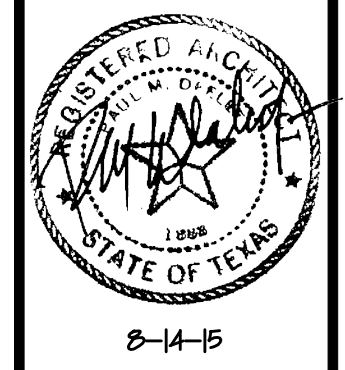
18 units

17 units

242 units total 1 FLOOR PLAN - FOURTH LEVEL
1/8" = 1'-0"

NO.	REVISION
1	07-24-2015
2	08-14-2015

PROPOSED NEW FACILITY:
PLATINUM SELF-STORAGE
TOWNSEND ROAD
ROCKWALL, TEXAS 75087



4700 KEMBLE ST.
FORT WORTH, TX 76113
PH: 817-338-6529
FAX: 817-338-6595
WWW.JLBSYS.COM



FLOOR PLAN
4TH LEVEL

Date	04-16-2015
Scale	As Noted
Drawn	JLL
Job	14014
Sheet	

A1.4

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 06/16/2014

APPLICANT: Maxwell Fisher; *Masterplan Consulting*

AGENDA ITEM: Z2014-012; Platinum Self-Storage (SUP)

SUMMARY:

Hold a public hearing to discuss and consider a request by Masterplan Consulting, on behalf of Rockwall SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30 frontage road and Townsend Drive, and take any action necessary.

PURPOSE OF REQUEST:

According to the *Permissible Use Charts* located in Article 4, *Permissible Uses*, of the Unified Development Code (UDC) a mini-warehouse facility requires a Specific Use Permit (SUP) within a Commercial (C) District. In conformance with this requirement the applicant, *Masterplan Consulting*, submitted an application on April 18, 2014 requesting an SUP on a 2.857-acre portion of a larger 5.549-acre tract of vacant land zoned Commercial (C) District. The subject property is located behind Shenaniganz Entertainment Center and Toyota of Rockwall, and is south of the intersection of IH-30 and T. L. Townsend Drive.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the 5.549-acre tract of land (*i.e.* 2.692-acre tract of land) followed by a three (3) acre tract of land containing a City of Rockwall water storage facility, Shenaniganz Entertainment Center (*five [5] acres*), and Toyota of Rockwall (*11.26-acres*). Both Shenaniganz and Toyota of Rockwall are zoned Light Industrial (LI) District and the remainder of the properties are zoned Commercial (C) District.

South: Directly south of the subject property is a 20.29-acre parcel of land, zoned Commercial (C) District, and developed with a Costco Wholesale Center. Beyond this use is SH-276.

East: Directly east of the subject property is a tributary of Buffalo Creek containing several acres of 100-year floodplain and a conservation and drainage easement. East of this is the Townsend Village Subdivision, which contains 77 residential lots on 27.689-acres of land and is zoned Planned Development District 10 (PD-10).

West: Directly west of the subject property is the remainder of the Toyota of Rockwall property, which is zoned Light Industrial (LI) District. Beyond this is Interstate Highway 30 (IH-30).

CHARACTERISTICS OF REQUEST:

The applicant has submitted a conceptual site plan, building elevations and landscape plans detailing the anticipated layout of the proposed mini-warehouse facility. According to the conceptual site plan the proposed facility will be composed of one (1) building with a capacity of 579 storage units and be situated on a 2.857-acre tract of land. The subject property is located between three (3) large developments (*i.e. CostCo Wholesale Center, Shenaniganz and Toyota of Rockwall*) along the northern and western property lines and adjacent to floodplain containing dense vegetation protected by a conservation easement along the eastern property line. The site is visibly shielded from all public rights-of-way and will not have frontage on to a public street. The site is accessible by two cross access easements that [1] extend from T. L. Townsend Drive on to the City of Rockwall's water storage facility's property and [2] from SH-276 onto CostCo Wholesale Center's property. If this Specific Use Permit (SUP) request is approved the applicant will be required to connect the two (2) cross access easements as generally shown on the concept site plan. Additionally, if approved the City Council will in effect be granting a variance to the minimum lot frontage on a public right-of-way stipulated by the Commercial (C) District standards (§4.5.C.2, Article V, UDC) [*see Conditions of Approval*].

The facility being proposed by the applicant will have the appearance of a four (4) story office building and will not have any units facing to the exterior of the building. The facility will be gated and further screened by a six (6) foot masonry fence that will completely enclose the proposed building, parking areas and outside storage areas. As stated above visibility of the site is impaired by adjacent development and floodplain with dense vegetation. Additionally, the building itself will be situated on a lower grade than the adjacent development, and all parking and outside storage areas will be further screened by the proposed masonry wall and adjacent landscaping. *The applicant is preparing a line of site study and will be taking pictures of the property from a sky-crane to address the concerns the Planning and Zoning Commission raised in the work session meeting on April 27, 2014.*

Section 2.1.10 of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) details the specific land use requirements for a *Mini-Warehouse Facility*. The following is a summary of the applicant's proposal and its compliance to these land use requirements:

<i>Code Requirement</i>	<i>Proposed Plan</i>	<i>Compliance</i>
The maximum site area shall not exceed five (5) acres.	2.857-Acres	In Compliance
The maximum number of storage units shall not exceed 125 units per acre.	A maximum of 579 units is permitted by the SUP Ordinance.	<i>Not In Conformance</i>
The maximum height shall not exceed one (1) story.	The building is constructed to emulate an office building and is not comparable to the standard mini-warehouse design. The design is permitted by the SUP Ordinance.	<i>Not In Conformance</i>
The minimum number of parking spaces required is two (2). Parking requirement is three (3) spaces plus one (1) per 100 units.	Nine (9) parking spaces are and nine (9) parking spaces are provided.	In Conformance
No direct access from FM740, SH205, SH66, SH276, FM3097, FM552, FM549 or John King Boulevard.	The site does not have direct access from any roadway and is only accessible via Costco or the City's Water Storage Facility.	In Conformance
Overhead doors shall not face adjacent streets.	The buildings is not visible from any adjacent streets or roadways.	In Conformance
All exterior walls facing the front, side and rear property lines shall be 100% brick construction.	All exterior walls will incorporate brick and stone.	In Conformance

The front, side and rear building setback areas shall incorporate clustered landscaping.	The Concept Landscape Plan provided shows clustered landscaping along the front and sides of the facility; however, due to the visibility of the subject property the proposed facility is in compliance with the intent of this requirement.	Landscaping Plan (Site Plan); Concept Landscape Plan (In Conformance)
Gates shall be incorporated limiting access to the facility.	Wrought iron gates are being proposed.	In Conformance
Screening fences shall be wrought iron or masonry.	Landscape screening and wrought Iron fencing as well as an eight (8) foot masonry face are shown on the site plan.	In Conformance
Concrete shall be used for all paving.	All future paving will be concrete.	In Conformance
Roof shall have a minimum roof pitch of 1:3 and be constructed with metal standing seam.	The building is constructed to emulate an office building and will incorporate a parapet wall and flat roof to achieve this look. The design is permitted by the SUP Ordinance.	<i>Not In Conformance</i>
Lighting standards shall be limited to a maximum of 20-feet in height.	Will be handled at the time of site plan submittal on the Photometric Plan. The SUP Ordinance include this requirement under the Operational Conditions.	Photometric Plan (Site Plan)
A single residential unit not exceeding 1,600 SF in size is permitted.	Single Residential Unit (1,200 SF)	In Conformance
Outside Storage shall be prohibited.	The site will include limited outside storage of boats, recreation vehicles, vehicles and/or similar motor/self-propelled vehicles.	<i>Not In Conformance</i>

It is important to note that the requirements contained within Section 2.1.10 of the UDC (listed above) were prepared with the intent of regulating campus style facilities that incorporate several buildings, generally being one (1) story in height, and that have storage units that are accessible from the exterior of the building. The facility being proposed by the applicant is more comparable or similar to an office or retail building. As a result the proposed building is not in compliance with several of the standards that are intended to regulate a typical mini-warehouse building. Specifically, the structure exceeds one (1) story in height and incorporates a flat roof with a parapet (more typical of an office or commercial development) as opposed to a pitched roof, which is required by the code. In addition, the applicant is requesting to incorporate outside storage on the grounds that the site has limited visibility from adjacent properties and a six (6) foot masonry fence will be incorporated surrounding the site and parking areas. Finally, the applicant is requesting a maximum of 579 units, which represents 207 units per acre as opposed to the permitted 125 units per acre. If approved the SUP ordinance will limit the number of units to a maximum of 579 units. With the exception of these items, the applicant's proposal meets all the requirements stipulated by the UDC.

In order to insure that the plan, submitted by the applicant, for the Specific Use Permit will conform to the future site plan submittal, staff has incorporated both the conceptual site plan and building elevations into the SUP ordinance, as well as, the operational conditions listed in the *Recommendations* section below.

NOTIFICATION:

On May 2, 2014, staff mailed 21 notices to property owners within 200 feet of the subject property. Additionally, staff posted a sign adjacent to the closest roadway (i.e. Townsend Drive) as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had received one (1) notification in favor of the applicant's request.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the applicant's request for a Specific Use Permit (SUP) for a *Mini-Warehouse Facility* on the subject property then staff would recommend the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the approved SUP ordinance and summarized as follows:
 - a) Prior to the issuance of a building permit a site plan conforming to the requirements stipulated by the Unified Development Code [*Ordinance No. 04-38*] shall be submitted and approved by the Planning & Zoning Commission, and if necessary City Council.
 - b) All construction and operations on this property shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
 - c) The building elevations submitted with the site plan shall strictly adhere to the Concept Building Elevations depicted in *Exhibit 'C'* of this ordinance, unless required to be modified to conform to the recommendations of the Planning & Zoning Commission and/or City Council.
 - d) The maximum number of storage units provided shall not exceed 579 units for the facility.
 - e) All transparent fences shall be wrought iron or similar, and when necessary incorporate landscaping/living screening to screen the interior of the facility. Chain-link fencing shall be prohibited.
 - f) The height of the building shall not exceed four (4) stories or 60-feet in total height.
 - g) Outside storage shall be limited to the areas depicted on the Concept Plan in Exhibit 'A' and shall be screened from adjacent properties using a minimum of an eight (8) foot masonry fence. No outside storage of any kind shall be permitted outside of the areas depicted on the Concept Plan. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or self-propelled vehicles.
 - h) Businesses shall not be allowed to operate within individual storage units.
 - i) The commercial operation of rental trucks and trailers shall be prohibited.
 - j) All signage shall be required to conform to the requirements stipulated by the Code of Ordinances. Additionally, pole signage shall be prohibited on this site.
 - k) All light poles shall be limited to a maximum height of 20-feet and all light fixture proposed for the site shall comply with the requirements of Article VII, *Environmental Performance*, of the Unified Development Code.
- 2) In conformance with the requirements of Section 2.2 of Article XI, *Zoning-Related Applications*, of the UDC the applicant shall be required to submit a site plan prior to the issuance of a building permit;
- 3) Unless specifically addressed within this case memo the site plan, landscape plan, building elevations and photometric plan shall comply with the land use requirements for the *Mini-Warehouse* land use stipulated by Section 2.1.10, *Wholesale, Distribution and Storage*, of Article IV, *Permissible Uses*, of the UDC;

- 4) Prior to the issuance of a building permit the applicant will be required to certify that the driveway existing on the City's water storage facility property will meet current city standard for fire lane. If the driveway does not meet the City's current requirements for fire lane the applicant will be required to upgrade the driveway to ensure the subject property has proper fire protection;
- 5) A final plat shall be required for the subject property prior to the issuance of a building permit. Additionally, through the approval of the Specific Use Permit a variance to the minimum lot frontage on a public right-of-way stipulated by the Commercial (C) District shall be considered to be approved for the purpose of platting the property;
- 6) The applicant shall submit a revised legal description and address all Planning, Engineering and Fire comments prior to the approval of the Specific Use Permit (SUP);
- 7) The City Council reserves the right to review this SUP request [Case No. Z2014-012] one (1) year after the approval and adoption of the SUP ordinance; and
- 8) Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On June 10, 2014 the Planning and Zoning Commission made a motion to approve the applicant's request for a Specific Use Permit (SUP) for a mini-warehouse facility per staff's recommendations with the caveat that all outside storage of boats, recreational vehicles and/or motor vehicles be limited to eight (8) feet in total height. The motion passed by a vote of 6-0, with Commissioner Minth absent.



Masterplan

Explanation of Request

South and east of IH30, south and west of Townsend Road

Site:

The 2.8-acre SUP site is part of an undeveloped 5.5-acre parcel located north of Costco and southeast of the Toyota dealership. The site is removed from public rights-of-way; and as such, it has limited visibility and circuitous access, making retail development infeasible. The site also sits lower than the properties to the north so this grade differential and the existing building infrastructure further limit view from nearby public rights-of-way. Access to the site would be provided via access easements across the Costco site and across the property northeast to Townsend Road.

Specific Use Permit:

The request is for approval of a specific use permit to construct a 4-story, 118,800-square foot mini-warehouse. The facility would include a 1,200-square foot caretaker's quarters as well as a 900-square foot office. Nearly all the units would be accessed from interior corridors.

Although this is a storage facility, the exterior elevations will include complimentary masonry materials along with glazing akin to an office development. It will look and feel like an office without the office traffic. The elevations also include wall and roof articulation for additional visual appeal.

This would be an upscale facility offering a temperature controlled wine cellar, safety deposit boxes for jewelry and other valuable items, and a small ancillary component of boat and RV storage. Although the site is removed from public streets and its visibility is limited, there would be a minimum 8-foot tall masonry screen wall surrounding the entire perimeter. Robust landscaping is planned around the perimeter to enhance site aesthetics from adjacent properties, in compliance with city landscaping standards.

Exceptions:

The proposal includes waiver of the storage unit density parameter of 125 units per acre. This facility would include up to 579 units on 2.8 acres, yielding a density of 207 units per acre. In order for this type of facility to have the visibility necessary to be successful, it must be 4 stories tall and have a density that supports, and is commensurate with the invested infrastructure. If the entire 5.5 acres were developed with a conventional one-story storage facility, it could yield up to 687 storage units.

Likewise, the proposal also includes an exception to the one-story building height parameter for mini-warehouses. We believe the one-story height parameter is intended to regulate the height of conventional storage facilities with exterior accessed units. The additional height is required to accommodate this particular style of storage facility that relies on visibility from the highway. Furthermore, this type of storage facility, as opposed to a conventional one, would be superior from a visual standpoint. Other factors that mitigate the height of the building include the aforementioned grade differential as well as its shear distance to major streets.

We request an exception of the pitched roof requirement. We believe this requirement is geared toward a conventional one-story facility whereas a flat roof with parapet better suits the taller, office looking facility. Likewise, a pitched roof would be better suited in a traditional residential setting.

The proposal also includes an ancillary component of outside RV/boat storage limited to the area shown on the preliminary site plan. There is demand for storage of recreational vehicles. The convenient location will allow those in the community a convenient storage option, which deters homeowners from storing recreational vehicles illegally at home or on the street in conventional neighborhoods where they can have functional and aesthetic impacts.

We see this as a great site to allow limited RV/boat storage. View of the storage area would be obstructed by the building, the 8-foot perimeter walls and the site's distance and grade differential from its surroundings. It gives another storage option with no little to any impact on the area.

2 A vote was taken and the motion passed 6-0.

4 III. DISCUSSION ITEMS

6 2. Appointment with Architectural Review Board representative to receive the Board's
8 recommendations and comments for items on the agenda requiring architectural review.

10 **Kristi Mase spoke on behalf of the ARB. Board member Mase stated that the Board reviewed**
12 **SP2014-006, a site plan for Peak Pedi – a medical office building. The Board recommended that**
the applicant add a header and seal to detail the front windows as well as extend the roof eaves
on either side in order to meet the horizontal articulation standards.

14 3. Z2014-010

16 Hold a public hearing to discuss and consider a request by the Fenton Motor Group, LLC, on
18 behalf of the LaFon Family, for the revocation of SUP No. 111 [Ordinance No. 13-36], which
20 grants a Specific Use Permit (SUP) for a new car dealership on a 1.06-acre tract of land identified
as Tract 12 of the John Lockhart Survey, Abstract No. 134 and a 10.51-acre parcel of land
22 identified as Lot 1, Block A of the Lafon Addition, being a total 11.568-acres, zoned Commercial
(C) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District,
generally located east of John King Boulevard and south of IH-30, and take any action necessary.

24 **Chairman Renfro indicated that case # Z2014-010 has been withdrawn by the applicant.**

26 4. Z2014-011

28 Hold a public hearing to discuss and consider a request by Dewayne Cain, on behalf of the Cain
Family Revocable Trust, for the approval of a zoning change from a Single Family 10 (SF-10)
District to Planned Development District 53 (PD-53) for Residential-Office (RO) District uses and
30 to amend the boundaries of Planned Development District 53 (PD-53) [Ordinance No. 02-33] for a
0.651-acre parcel of land identified as Lot 3, Block A, Lee Rhoades Subdivision, City of Rockwall,
Rockwall County, Texas, addressed as 1002 Ridge Road, and take any action necessary.

32 **Sanford described the location of the property and briefly discussed the case.**

34 **Commissioner Minth expressed concern about access drives to the property. Williams indicated**
36 **that the property already has access off of Ridge Road.**

38 **Dewayne Cain**
Rockwall, Texas

40 **Mr. Cain explained that he is requesting to extend the zoning for PD-53 to his property. He also**
42 **wants to improve the look of the property.**

44 **Commissioner Nielsen expressed concerned about traffic in this area. Mr. Cain explained that PD-**
46 **53 allows for office use. Sanford stated that some limited retail uses are permitted within a**
Residential-Office District, but many of those uses would require a Specific Use Permit.

48 5. Z2014-012

50 **Hold a public hearing to discuss and consider a request by Master Plan, on behalf of Rockwall**
52 **SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse**
54 **facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger**
5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City
of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30
frontage road and Townsend Drive, and take any action necessary.

56 **Gonzales described the request to the Commission.**

58 **Commissioner McCutcheon clarified the access to the property. Gonzales explained the access**
60 **to the property.**

2 Commissioner Nielsen asked about a nearby neighborhood. Discussion took place regarding
4 screening and other development in the area.

6 Dallas Cothran
900 Jackson St
Dallas, Texas

8 Mr. Cothran explained the request.

10 Commissioner Nielsen expressed concern regarding the proposed facility being 4-stories.
12 Discussion took place regarding signage for the development.

14 Commissioner Jackson asked if the facility will rent U-haul type trucks and trailers. Mr. Cothran
16 stated that they will not rent those types of trucks. Commissioner Jackson clarified that the
18 screening wall is a masonry wall. Mr. Cothran confirmed that it is a masonry wall. Commissioner
20 Jackson also asked for the height of several surrounding properties. She also wanted to know if
it is important to the developer to permit the storage of vehicles, RVs, and boats. Mr. Cothran
expressed that he thinks it is important, but they would likely require that the vehicles be
operable.

22 Commissioner Minth asked for a visual from all sides of the building in order for the Commission
24 to visualize the business from the different sides. Commissioner Minth stated that she is
concerned with signage in the windows of the building.

26 6. Z2014-013
28 Hold a public hearing to discuss and consider a request by Dean Cathey, on behalf of ASCDT
Investments, LLC, for the approval of a zoning change from a Zero Lot Line (ZL-5) District to a
30 Planned Development District for single-family attached uses for a 1.25-acre subdivision of land
identified as Lots 4, 5, 6 & 7 of the Integrity Addition Phase 2, City of Rockwall, Rockwall County,
32 Texas, addressed as 617, 619, 621 & 623 Boydston Avenue, and take any action necessary.

34 Gonzales explained the zoning request.

36 7. SP2014-006
38 Discuss and consider a request by Peak Pedi, LLC for the approval of a site plan for a medical
office on a one (1) acre tract of land identified at Tract 1-2 of the J. M. Allen Survey, Abstract 2,
40 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the
SH-276 Overlay (SH-276) District, located on the north side of SH-276 west of Innovation Drive,
and take any action necessary.

42 Sanford discussed the case and described the location of the property.

44 8. SP2014-007
46 Discuss and consider a request by Stephen Seitz Architects, Inc., on behalf of the owner of the
property, for the approval of a site plan for a professional office building on a 0.75-acre tract of
48 land identified as Lot E, Block 117 & Lot D, Block 117 of B. F. Boydston Addition, City of
Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, located at the northeast
50 corner of the intersection of SH-205 [S. Goliad Street] and St. Mary's Street, and take any action
necessary.

52 Sanford briefed the Commission on the case.

54 Commissioner Nielsen asked the purpose behind disallowing stucco within the first 8 feet above
56 grade. Gonzales stated it is an aesthetic issue.

58 Steve Seitz
22231 Ridge Road
Rockwall, Texas

60

2 parking requirements stipulated in Article VI, Parking and Loading Standards, of the Unified
4 Development Code [Ordinance 04-38],

6 5) A six (6) foot, wood fence constructed to a residential standard is required adjacent to all single
8 family residential adjacencies (i.e. the northern and western property lines) for the purpose of
10 screening the parking area,

12 6) Prior to the Subject Property being utilized for any use other than a single family residential
14 dwelling a site plan must be submitted, reviewed and approved by the Director of Planning or his
16 designee, and

18 7) Any construction resulting from the approval of this zoning change shall conform to the
20 requirements set forth by the Unified Development Code (UDC), the International Building Code
22 (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and
24 with all other applicable regulatory requirements administered and/or enforced by the state and
26 federal government.

28 Chairman Renfro opened the public hearing at 6:06pm.

30 Dewayne Cain
32 305 Stonebridge
34 Rockwall, Texas

36 Mr. Cain indicated his desire to rezone his property in order to keep it consistent with the adjacent
38 properties and so that he can remove the existing structure and replace it with a new structure.

40 Commissioner Nielsen expressed his concern with the drive off of Ridge Road and asked about
42 future tenants at the property. Mr. Cain stated that at this time he does not know the future
44 tenants. Mr. Cain stated that the only entrance can be going south on Ridge Road. He hopes to
46 gain an exit onto Summit Ridge. Miller indicated that this issue would be addressed during the
48 site plan process.

50 Additional discussion took place regarding access off of Ridge Road.

52 As no one else wished to speak on this item, Chairman Renfro closed the public hearing at
54 6:10pm.

56 Commissioner Jackson made a motion to approve Z2014-011, a request by Dewayne Cain, on
58 behalf of the Cain Family Revocable Trust, for the approval of a zoning change from a Single
60 Family 10 (SF-10) District to Planned Development District 53 (PD-53) for Residential-Office (RO)
District uses and to amend the boundaries of Planned Development District 53 (PD-53) [Ordinance
No. 02-33] for a 0.651-acre parcel of land identified as Lot 3, Block A, Lee Rhoades Subdivision,
City of Rockwall, Rockwall County, Texas, addressed as 1002 Ridge Road, with staff
recommendations.

62 Commissioner McCutcheon seconded the motion.

64 A vote was taken and the motion passed 7-0.

66 **2. Z2014-012**

68 Hold a public hearing to discuss and consider a request by Master Plan, on behalf of Rockwall
69 SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse
70 facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger
5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City
of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30
frontage road and Townsend Drive, and take any action necessary.

72 Miller stated that the applicant has requested to postpone the public hearing to the May 27th
73 Planning & Zoning meeting. No action was taken on the item.

2 **MINUTES**
3 **PLANNING AND ZONING COMMISSION WORK SESSION**
4 **City Hall, 385 South Goliad, Rockwall, Texas**
5 **Council Chambers**
6 **May 27, 2014**
7 **6:00 P.M.**

10 I. CALL TO ORDER

12 The meeting was called to order by Vice-Chairman John McCutcheon at 6:00 p.m. with the
13 following members present: Wendi Conley, Connie Jackson, Jonathan Lyons, and Matthew
14 Nielsen. Craig Renfro and Kristen Minth were not present.

16 The following staff members from the Planning Department were present: Robert LaCroix, Ryan
17 Miller, David Gonzales, and JoDee Sanford. Additionally, Engineering Department staff members,
18 Tim Tumulty, Amy Williams, and Kathleen Moreno, were in attendance.

20 II. CONSENT AGENDA

22 1. Approval of Minutes for the April 8, 2014 Planning and Zoning Commission meeting.

24 2. P2014-012

26 Discuss and consider a request by Terrence Rowe of Double T. Ventures, LLC for the approval of
27 a replat for Lot 1, Block A, Double T. Ventures Addition being one (1) lot currently identified as a
28 portion of Lot 24, Amick Addition, zoned Planned Development District 50 (PD-50), located at 807
N. Goliad Street, City of Rockwall, Rockwall County, Texas, and take any action necessary.

30 Commissioner Jackson made a motion to approve the consent agenda.

32 Commissioner Nielsen seconded the motion.

34 A vote was take and the motion passed by a vote of 5-0.

36 III. PUBLIC HEARING ITEMS

38 3. Z2014-012

40 Hold a public hearing to discuss and consider a request by Master Plan, on behalf of Rockwall
41 SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse
42 facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger
43 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City
44 of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30
45 frontage road and Townsend Drive, and take any action necessary. [Request to Postpone to the
46 June 10, 2014 Planning and Zoning Commission Meeting]

48 Vice-Chairman McCutcheon announced that the applicant has requested to postpone the public
hearing until the June 10, 2014 meeting. No other action was taken.

50 IV. ACTION ITEMS

52 4. Appointment with Dick Skorburg of the Skorburg Company to consider a request to submit a new
53 zoning application for Planned Development District 74 (PD-74) in accordance with Section 8.3,
54 Council Approval or Denial, of Article II, Authority and Administrative Procedures, of the Unified
55 Development Code, and take any action necessary.

56 On April 21, 2014, the City Council denied a request to amend Planned Development District 74
57 (PD-74) [Case No. Z2014-007], and since the request was denied without an indication of prejudice
58 the action was considered to be a denial with prejudice (§8.3.B, Article II). This motion restricts

2 **MINUTES**
3 **PLANNING AND ZONING COMMISSION PUBLIC HEARING**
4 **City Hall, 385 South Goliad, Rockwall, Texas**
5 **Council Chambers**
6 **June 10, 2014**
7 **6:00 P.M.**

8 I. CALL TO ORDER

9 The meeting was called to order by Chairman Craig Renfro at 6:00 p.m. with the following
10 members present: Wendi Conley, Connie Jackson, Jonathan Lyons, John McCutcheon and
11 Matthew Nielsen. Kristen Minth was not present.

12 The following staff members from the Planning Department were present: Robert LaCroix, Ryan
13 Miller, David Gonzales, and JoDee Sanford. Additionally, Engineering Department staff members,
14 Tim Tumulty, Amy Williams, and Kathleen Moreno, were in attendance.

15 II. CONSENT AGENDA ITEMS

- 16 1. Approval of Minutes for the April 29, 2014 Planning and Zoning Commission meeting.

17 Commissioner Jackson made a motion to approve the minutes.

18 Commissioner McCutcheon seconded the motion.

19 A vote was taken and the motion passed 5-0, with Commissioner Lyons abstaining.

- 20 2. Approval of Minutes for the May 13, 2014 Planning and Zoning Commission meeting.

21 Commissioner Jackson made a motion to approve the minutes.

22 Commissioner Lyons seconded the motion.

23 A vote was taken and the motion passed 6-0.

- 24 3. Approval of Minutes for the May 27, 2014 Planning and Zoning Commission meeting.

25 Commissioner Lyons made a motion to approve the minutes.

26 Commissioner McCutcheon seconded the motion.

27 A vote was taken and the motion passed 5-0, with Chairman Renfro abstaining.

28 III. PUBLIC HEARING ITEMS

29 **4. Z2014-012**

30 Hold a public hearing to discuss and consider a request by Master Plan, on behalf of Rockwall
31 SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse
32 facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger
33 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City
34 of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30
35 frontage road and Townsend Drive, and take any action necessary.

36 Miller stated that according to the Permissible Use Charts located in Article 4, Permissible Uses,
37 of the Unified Development Code (UDC) a mini-warehouse facility requires a Specific Use Permit
38 (SUP) within a Commercial (C) District. In conformance with this requirement the applicant,
39 Masterplan Consulting, submitted an application on April 18, 2014 requesting an SUP on a 2.857-
40 acre portion of a larger 5.549-acre tract of vacant land zoned Commercial (C) District. The subject

2 property is located behind Shenaniganz Entertainment Center and Toyota of Rockwall, and is
4 south of the intersection of IH-30 and T. L. Townsend Drive.

6 The applicant has submitted a conceptual site plan, building elevations and landscape plans
8 detailing the anticipated layout of the proposed mini-warehouse facility. According to the
10 conceptual site plan the proposed facility will be composed of one (1) building with a capacity of
12 579 storage units and be situated on a 2.857-acre tract of land. The subject property is located
14 between three (3) large developments (i.e. CostCo Wholesale Center, Shenaniganz and Toyota of
16 Rockwall) along the northern and western property lines and adjacent to floodplain containing
18 dense vegetation protected by a conservation easement along the eastern property line. The site
20 is visibly shielded from all public rights-of-way and will not have frontage on to a public street.
The site is accessible by two cross access easements that [1] extend from T. L. Townsend Drive
onto the City of Rockwall's water storage facility property and [2] from SH-276 onto CostCo
Wholesale Center's property. If this Specific Use Permit (SUP) request is approved the applicant
will be required to connect the two (2) cross access easements as generally shown on the
concept site plan. Additionally, if approved the City Council will in effect be granting a variance to
the minimum lot frontage on a public right-of-way stipulated by the Commercial (C) District
standards (§4.5.C.2, Article V, UDC).

22 The facility being proposed by the applicant will have the appearance of a four (4) story office
24 building and will not have any units facing to the exterior of the building. The facility will be gated
26 and further screened by a six (6) foot masonry fence that will completely enclose the proposed
28 building, parking areas and outside storage areas. As stated above visibility of the site is
impaired by adjacent development and floodplain with dense vegetation. Additionally, the
building itself will be situated on a lower grade than the adjacent development, and all parking and
outside storage areas will be further screened by the proposed masonry wall and adjacent
landscaping. The applicant is preparing a line of site study and will be taking pictures of the
property from a sky-crane to address the concerns the Planning and Zoning Commission raised in
the work session meeting on April 27, 2014.

32 Section 2.1.10 of Article IV, Permissible Uses, of the Unified Development Code (UDC) details the
34 specific land use requirements for a Mini-Warehouse Facility.

36 It is important to note that the requirements contained within Section 2.1.10 of the UDC (listed
38 above) were prepared with the intent of regulating campus style facilities that incorporate several
40 buildings, generally being one (1) story in height, and that have storage units that are accessible
42 from the exterior of the building. The facility being proposed by the applicant is more comparable
44 or similar to an office or retail building. As a result the proposed building is not in compliance
46 with several of the standards that are intended to regulate a typical mini-warehouse building.
Specifically, the structure exceeds one (1) story in height and incorporates a flat roof with a
parapet (more typical of an office or commercial development) as opposed to a pitched roof,
which is required by the code. In addition, the applicant is requesting to incorporate outside
storage on the grounds that the site has limited visibility from adjacent properties and a six (6)
foot masonry fence will be incorporated surrounding the site and parking areas. Finally, the
applicant is requesting a maximum of 579 units, which represents 207 units per acre as opposed
to the permitted 125 units per acre. If approved the SUP ordinance will limit the number of units to
a maximum of 579 units. With the exception of these items, the applicant's proposal meets all the
requirements stipulated by the UDC.

50 In order to insure that the plan, submitted by the applicant, for the Specific Use Permit will
52 conform to the future site plan submittal, staff has incorporated both the conceptual site plan and
54 building elevations into the SUP ordinance, as well as, the operational conditions listed in the
Recommendations section.

56 On May 2, 2014, staff mailed 21 notices to property owners within 200 feet of the subject property.
58 Additionally, staff posted a sign adjacent to the closest roadway (i.e. Townsend Drive) as required
60 by the Unified Development Code (UDC). At the time this case memo was drafted, staff had
received one (1) notification in favor of the applicant's request.

- 2 If the Planning & Zoning Commission and City Council choose to approve the applicant's request
4 for a Specific Use Permit (SUP) for a Mini-Warehouse Facility on the subject property then staff
would recommend the following conditions of approval:
- 6 1) The applicant shall be responsible for maintaining compliance with the operational conditions
8 contained in the approved SUP ordinance and summarized as follows:
- 10 a) Prior to the issuance of a building permit a site plan conforming to the requirements stipulated
by the Unified Development Code [Ordinance No. 04-38] shall be submitted and approved by the
12 Planning & Zoning Commission, and if necessary City Council.
 - 14 b) All construction and operations on this property shall generally conform to the Concept Plan
depicted in Exhibit 'B' of this ordinance.
 - 16 c) The building elevations submitted with the site plan shall strictly adhere to the Concept
Building Elevations depicted in Exhibit 'C' of this ordinance, unless required to be modified to
conform to the recommendations of the Planning & Zoning Commission and/or City Council.
 - 18 d) The maximum number of storage units provided shall not exceed 579 units for the facility.
 - 20 e) All transparent fences shall be wrought iron or similar, and when necessary incorporate
landscaping/living screening to screen the interior of the facility. Chain-link fencing shall be
prohibited.
 - 22 f) The height of the building shall not exceed four (4) stories or 60-feet in total height.
 - 24 g) Outside storage shall be limited to the areas depicted on the Concept Plan in Exhibit 'A' and
shall be screened from adjacent properties using a minimum of an eight (8) foot masonry fence.
No outside storage of any kind shall be permitted outside of the areas depicted on the Concept
26 Plan. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or
self-propelled vehicles.
 - 28 h) Businesses shall not be allowed to operate within individual storage units.
 - 30 i) The commercial operation of rental trucks and trailers shall be prohibited.
 - 32 j) All signage shall be required to conform to the requirements stipulated by the Code of
Ordinances. Additionally, pole signage shall be prohibited on this site.
 - 34 k) All light poles shall be limited to a maximum height of 20-feet and all light fixture proposed for
the site shall comply with the requirements of Article VII, Environmental Performance, of the
Unified Development Code.
- 36 2) In conformance with the requirements of Section 2.2 of Article XI, Zoning-Related Applications,
of the UDC the applicant shall be required to submit a site plan prior to the issuance of a building
38 permit;
- 40 3) Unless specifically addressed within this case memo the site plan, landscape plan, building
elevations and photometric plan shall comply with the land use requirements for the Mini-
Warehouse land use stipulated by Section 2.1.10, Wholesale, Distribution and Storage, of Article
42 IV, Permissible Uses, of the UDC;
- 44 4) Prior to the issuance of a building permit the applicant will be required to certify that the
driveway existing on the City's water storage facility property will meet current city standard for
46 fire lane. If the driveway does not meet the City's current requirements for fire lane the applicant
will be required to upgrade the driveway to ensure the subject property has proper fire protection;
48
- 50 5) A final plat shall be required for the subject property prior to the issuance of a building permit.
Additionally, through the approval of the Specific Use Permit a variance to the minimum lot
52 frontage on a public right-of-way stipulated by the Commercial (C) District shall be considered to
be approved for the purpose of platting the property;
- 54 6) The City Council reserves the right to review this SUP request [Case No. Z2014-012] one (1)
year after the approval and adoption of the SUP ordinance; and
56
- 58 7) Any construction or building necessary to complete this request must conform to the
requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal
Code of Ordinances, city adopted engineering and fire codes and with all other applicable
60 regulatory requirements administered and/or enforced by the state and federal government.

2 Commissioner Nielsen stated that typically outside storage is generally not allowed with mini-
warehouse facilities regardless of the size of the development.

4 Chairman Renfro opened the public hearing at 6:10pm.

6 Dallas Cothran
8 900 Jackson Street
Dallas, Texas

10 Mr. Cothran gave a brief presentation over the proposed development. He stated that this is a
12 difficult site to develop which makes it a good site for this type of development. Additionally, the
project is a significant investment.

14 Commissioner Nielsen stated that he appreciated the applicant's presentation. He additionally
16 stated his concern with the outside storage even with the masonry wall. He is also concerned
with lit signage for the facility. Mr. Cothran stated that they are allowed a monument sign, so the
18 signage on the building facing the interstate is critical. He explained that the outside storage is
appropriate for this particular development through the SUP process, because this is large site
20 and the storage is at the back of the property adjacent to Toyota's property.

22 Additional discussion took place regarding the outside storage.

24 Commissioner Lyons asked if the facility will have roof-top units. Mr. Cothran stated that they will
have roof-top units that will be screen with a parapet. Miller explained that any roof-top
26 equipment would be required to be screened from view.

28 Commissioner McCutcheon asked for clarification on the parking for the facility. Mr. Cothran
pointed out the parking for the facility.

30 As no one else wished to speak on this item, Chairman Renfro closed the public hearing at
32 6:32pm.

34 Commissioner Nielsen stated that he is still concerned with the outside storage for the facility
even with the masonry wall many vehicles will be taller than the wall. He additionally expressed
36 concern with the lack of a pitched roof.

38 Commissioner Nielsen made a motion to approve Z2014-012, a request by Master Plan, on behalf
of Rockwall SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-
40 warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of
a larger 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No.
42 65, City of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-
30 frontage road and Townsend Drive, with staff recommendations and without the outside
44 storage component.

46 Commissioner Jackson expressed that there may be other storage facilities in the area that are
storing vehicles without approval. She also would rather have people store items in these types
48 of facilities rather than keeping them in neighborhoods.

50 LaCroix explained that outside storage of vehicles larger than the masonry wall could be
disallowed if the Commission would prefer.

52 Commissioner Nielsen does not believe that this will not deter those individuals that choose to
54 store vehicles illegally.

56 General discussion took place regarding the outside storage component of the SUP.

58 Commissioner McCutcheon seconded the motion.

60 A vote was taken and the motion failed 1-5, with Conley, Jackson, Lyons, Renfro, and McCutcheon
against.

62

2 Commissioner Jackson made a motion to approve Z2014-012, a request by Master Plan, on behalf
4 of Rockwall SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-
6 warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of
8 a larger 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No.
65, City of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-
30 frontage road and Townsend Drive, with staff recommendations and limiting outside storage to
property that is 8 feet or less in height.

10 Commissioner Lyons seconded the vote.

12 A vote was taken and the motion passed 6-0.

14 5. Z2014-015
16 Hold a public hearing to discuss and consider a request by Dennis D. Alsup for the approval of a
18 Specific Use Permit (SUP) for an accessory building that does not conform to the size
20 requirements as specified by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV,
22 Permissible Uses, of the Unified Development Code for a property in a Single-Family 10 (SF-10)
District on a 0.74-acre parcel of land identified as a portion of Block 4, Garner Addition, zoned
Single-Family 10 (SF-10) District, situated within the North Goliad Overlay (NGC OV) District,
located at 921 Alamo Road, City of Rockwall, Rockwall County, Texas, and take any action
necessary.

24 Chairman Renfro announced that this case has been postponed until the June 24, 2014 meeting.

26 6. Z2014-016
28 Hold a public hearing to discuss and consider a request by Scott W. Blackwood for the approval
30 of a zoning change from Agricultural (AG) District to a Planned Development District for limited
32 commercial/retail land uses on a 12.493-acre tract of land identified as Tract 17-14 of the W. W.
Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, located west of the
intersection of SH-205 [S. Goliad Street] and S. FM-549, and take any action necessary.

34 Miller explained that on January 21, 2014, the subject property was annexed under Case No.
36 A2013-001 (Ordinance No. 14-04) and issued an Agricultural (AG) District zoning designation. The
38 intent of the applicant's request is to change the zoning designation of the subject property from
40 an Agricultural (AG) District to a Planned Development District for limited commercial/retail land
42 uses to facilitate the sale of the property. According to a letter provided by the owner of the
property the reason the Planned Development District is being requested is to limit the potential
uses and provide transition between the commercial property to the north and the residential
property to the south. Currently, the 12.493-acre tract of land is being utilized for residential land
uses and has an existing single family home situated on it.

44 The land uses adjacent to the subject property are as follows:

46 *North:* Directly north of the subject property is a 7.32-acre tract of land zoned Commercial (C)
48 District that has a residential structure being utilized as an office building. To the
northeast of the subject property is a residential home situated on a 6.0-acre tract of
land. Beyond these uses are S. Goliad Street [SH-205] and S. FM-549.

50 *South:* Directly south of the subject property is a residential home situated on a 12.5-acre tract
52 of land. Beyond this is a 134.33-acre tract of vacant land that is a portion of a larger
254.082-acre tract of land. Both properties are zoned Agricultural (AG) District.

54 *East:* Directly east of the subject property is remainder of the 134.33-acre tract of vacant land
56 that is a portion of a larger 254.082-acre tract of land zoned Agricultural (AG) District.
Beyond this property is S. Goliad Street [SH-205].

58 *West:* Directly west of the subject property is S. FM-549 followed by the Oaks of Buffalo Way,
60 which is a 109.57-acre development containing 58 single-family homes that are zoned
Single Family Estate 1.5 (SFE-1.5) District.

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IX. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.

Mr. Craig Renfro, Chairman of the Planning & Zoning Commission, came forth and briefed the council on recommendations of the Commission relative to planning-related items on tonight's meeting agenda. The council took no action related to this agenda item.

2. Appointment with Michael Turner to discuss and consider proposed changes to the city's Recreational Vehicle (RV) ordinance regulations, and take any action necessary.

**Michael Turner
925 Mont Cascades
Rockwall, TX 75087**

Mr. Turner came forth and explained that he has concerns related to the city's ordinance regulating parking of boats in neighborhoods for loading and unloading purposes. He explained that he would like some clarity in the ordinance regulations related to the definition of "loading and unloading." He explained that he feels harassed by neighbors who constantly call the city to complain about his boat or utility trailer being parked for "loading and unloading" in front of his home. After brief comments, the council took no action related to this agenda item.

X. PUBLIC HEARING ITEMS

1. **Z2014-012 - Hold a public hearing to discuss and consider approval of an ordinance for a request by Master Plan, on behalf of Rockwall SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30 frontage road and Townsend Drive, and take any action necessary. (1st Reading)**

Planning Director Robert LaCroix provided background information related to this item, indicating notices were mailed out to twenty-one adjacent property owners located within two hundred feet of the property with one notice being returned in favor. He explained the Planning & Zoning commission did recommend approval of this facility with the caveat that any and all storage would be limited to a maximum height of eight feet and would be fully screened behind the 8' masonry wall.

Mayor Sweet opened the public hearing and called the applicant forth.

**Maxwell Fisher
Master Plan**

135 Mr. Fisher came forth and provided a presentation to council, detailing the
136 characteristics of this proposed mini-warehouse facility. He explained that the product
137 his company builds is not like traditional storage facilities. Instead, the buildings look
138 more like very nice office buildings. He showed renderings / drawings as well as
139 pictures of facilities like this proposed one that have been built in other cities.
140

141 Councilmember White made a motion to approve Z2014-012. Councilmember Milder
142 seconded the motion. Mayor Pro Tem Pruitt asked for clarification regarding if the
143 motion does or does not include the stipulation of requiring an eight foot fence.
144 Councilmember White amended his motion to clarify approval of the item, indicating a
145 requirement that the applicant must install an 8' masonry fence in addition to planting
146 Leland Cypress trees to screen anything above the 8' screening fence. Councilmember
147 Milder seconded the amended motion.
148

149 Councilmember Daniels asked if the facility would have twenty-four hour access for
150 renters. Mr. Fisher indicated that access will be from 6:00 a.m. until 9:00 p.m., but there
151 will be 24/7 surveillance.
152

153 The ordinance was read as follows:

154
155 CITY OF ROCKWALL
156 ORDINANCE NO. 14-XX
157 SPECIFIC USE PERMIT NO. S-XXX
158

159 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
160 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE
161 NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
162 AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) TO
163 ALLOW A MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C)
164 DISTRICT AS SPECIFIED WITHIN ARTICLE IV, PERMISSIBLE USES, OF
165 THE UNIFIED DEVELOPMENT CODE, FOR A 2.857-ACRE TRACT OF
166 LAND, BEING A PORTION OF A LARGER 5.549-ACRE TRACT OF LAND
167 IDENTIFIED AS PART OF TRACT 2 OF THE J. CADLE SURVEY,
168 ABSTRACT NO. 65, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS;
169 PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY
170 OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS
171 (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY
172 CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN
173 EFFECTIVE DATE.
174

175 The motion passed by a vote of 7 ayes to 0 nays.

- 176
177 2. Z2014-015 - Hold a public hearing to discuss and consider approval of an
178 ordinance for a request by Dennis D. Alsup for the approval of a Specific
179 Use Permit (SUP) for an accessory building that does not conform to the
180 size requirements as specified by Section 2.1.2, Residential and Lodging
181 Use Conditions, of Article IV, Permissible Uses, of the Unified
182 Development Code for a property in a Single-Family 10 (SF-10) District
183 on a 0.74-acre parcel of land identified as a portion of Block 4, Garner
184 Addition, zoned Single-Family 10 (SF-10) District, situated within the
185 North Goliad Overlay (NGC OV) District, located at 921 Alamo Road, City

96
97 Mayor Sweet read a proclamation into the record to recognize Soroptimist and their
98 community outreach efforts.
99

100 IX. OPEN FORUM
101

102 Mayor Sweet explained how Open Forum is conducted and asked if anyone in the
103 audience would like to come forth and speak during this time.
104

105 Ruth Peck – 108 Lakedale Drive, Rockwall, Texas
106 Ms. Peck came forth to discuss Rockwall Music Fest for Labor Day and introduce
107 Michael Manley as the new conductor. She thanked the Council for their continued
108 support.
109

110 X. CONSENT AGENDA
111

- 112 1. Consider approval of the minutes from the June 12-14 annual city council
113 retreat, and take any action necessary.
- 114 2. Consider approval of the minutes from the June 16, 2014 regular city
115 council meeting, and take any action necessary.
- 116 3. Consider authorizing the City Manager to engage Fox, Byrd & Company
117 P.C. as the firm to conduct the City's audit for the fiscal year ending
118 September 30, 2014 and take any action necessary.
- 119 4. Consider approval of an **ordinance** amending the Code of Ordinances in
120 Chapter 38. Subdivisions to create a new Article, Article V. related to
121 grading, excavation, earthwork and erosion control for developments, and
122 taking any action necessary. **(1st reading)**
- 123 5. Consider approval of Change Order No. 1 to City Contract CIP2013-004,
124 Central Water and Sewer Improvements with Barson Utilities, Inc. in the
125 amount of \$107,766.25 for additional pavement repairs and related
126 appurtenances with funding from 2008 revenue bonds and take any
127 action necessary.
- 128 6. Consider approval of a resolution allowing a temporary partial closure of
129 northbound shoulder of SH 205 from the YMCA facility to Memorial Drive
130 to facilitate the Dirty Rocks Triathlon on Sunday, July 20, 2014 from 7:00
131 AM to 12:00 PM, and take any action necessary.
- 132 7. Consider approval of an **ordinance** amending the Code of Ordinances in
133 Chapter 22. Miscellaneous Offenses, Article II. Offenses Regarding
134 Minors, Division 5. Sex Offender Residency to modify provisions
135 specifying victims' age, to add a section regarding notice to residents of
136 registered sex offenders, and take any action necessary. **(1st reading)**
- 137 8. **P2014-007** - Consider a request by the Cabana's at Chandler's Landing
138 Homeowner's Association on behalf of the residents of the Cabana's at
139 Chandler's Landing for the approval of a replat of Lots 1-10, Block A, The
140 Cabanas at Chandler's Landing, City of Rockwall, Rockwall County,
141 Texas, for a 1.13-acre portion of a parcel of land identified as the
142 Cabanas at Chandler's Landing, zoned Planned Development District 8

(PD-8) for multi-family or condominium uses as established in Ordinance 73-48 & 84-04, generally located south of Yacht Club Drive and west of Harbor View Drive, and take any action necessary.

9. **P2014-013** - Consider a request by Tommy Pulliam of Pulliam Construction Management Inc. on behalf of Rayburn Electric Cooperation, Inc. for the approval of a final plat for Lots 1-3, Block A, Rayburn Country Addition being 11.407-acres of land situated in the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District and Agricultural (AG) District, located on the south side of Sids Road west of S. Goliad Street [SH-205], and take any action necessary.
10. **P2014-014** - Consider a request by Rich Houston on behalf of R. Fifty Green Homes, LLC for the approval of a final plat for Lots 1-6, Block A, Solar Village Addition, containing six (6) single family lots on a 2.055-acre tract of land situated within the Rueben Ballard Survey, Abstract No. 29, Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, located directly west of the intersection of Williams Street (SH-66) and Caruth Lane, and take any action necessary.
11. Consider approval of the bid award for the FM 3097 Utility Relocation Project contract to War Horse Enterprises, Inc. in the amount of \$135,872.72 to be funded from 2008 revenue bonds, and take any action necessary.
12. **Z2014-012** - Consider approval of an **ordinance** for a request by Master Plan, on behalf of Rockwall SH-205 Venture, LLC, for the approval of a Specific Use Permit (SUP) to allow a mini-warehouse facility on a 2.857-acre tract of land, zoned Commercial (C) District, being a portion of a larger 5.549-acre tract of land identified as a part of Tract 2 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, generally located south of the intersection of the IH-30 frontage road and Townsend Drive, and take any action necessary. **(2nd Reading)**
13. Consider approval of an **ordinance** amending the Code of Ordinances in Chapter 12, Article III, Section 12 to add Sections 12-66 to 12-68, regulating peddler activities to occupants of vehicles on public roadways in the city and solicitation in public areas, and take any action necessary. **(1st reading)**
14. Consider approval of an **ordinance** (re)establishing prohibition regarding temporary habitation in a public place in Chapter 22. Miscellaneous Offenses, Article I. In General, Section 22-4, and take any action necessary. **(1st reading)**

Mayor Pro Tem Pruitt pulled items #4, #5 and #13.

Councilmember Lewis made a motion to approve the remaining Consent Agenda items. Councilmember White seconded the motion. The ordinances for #7, #12 and #14 were read as follows:

CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 14-__

189 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
190 ROCKWALL, TEXAS AMENDING THE CODE OF ORDINANCES IN
191 CHAPTER 22. MISCELLANEOUS OFFENSES, ARTICLE II.
192 OFFENSES REGARDING MINORS, DIVISION 5. SEX OFFENDER
193 RESIDENCY, SECTIONS 22-136 AND 22-137 TO MODIFY
194 PROVISIONS SPECIFYING VICTIMS AGE; ADDING A SECTION
195 REGARDING NOTICE TO RESIDENTS OF REGISTERED SEX
196 OFFENDERS; PROVIDING FOR SEVERABILITY AND SAVINGS
197 CLAUSES; AND PROVIDING FOR AN EFFECTIVE DATE.

198
199 **CITY OF ROCKWALL**
200 **ORDINANCE NO. 14-**
201 **SPECIFIC USE PERMIT NO. S-**

202 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,**
203 **TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE**
204 **NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY**
205 **AMENDED, SO AS TO APPROVE A SPECIFIC USE PERMIT (SUP) TO**
206 **ALLOW A MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C)**
207 **DISTRICT AS SPECIFIED WITHIN ARTICLE IV, PERMISSIBLE USES, OF**
208 **THE UNIFIED DEVELOPMENT CODE, FOR A 2.857-ACRE TRACT OF**
209 **LAND, BEING A PORTION OF A LARGER 5.549-ACRE TRACT OF LAND**
210 **IDENTIFIED AS PART OF TRACT 2 OF THE J. CADLE SURVEY,**
211 **ABSTRACT NO. 65, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS;**
212 **PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY**
213 **OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS**
214 **(\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY**
215 **CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN**
216 **EFFECTIVE DATE.**

217
218 CITY OF ROCKWALL, TEXAS
219 ORDINANCE NO. 14-

220 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
221 TEXAS ESTABLISHING A PROHIBITION REGARDING TEMPORARY
222 HABITATION IN PUBLIC PLACES IN CHAPTER 22. MISCELLANEOUS
223 OFFENSES. ARTICLE I. IN GENERAL, SECTION 22-4; PROVIDING FOR
224 SEVERABILITY AND SAVINGS CLAUSES; AND PROVIDING FOR AN
225 EFFECTIVE DATE.

226 **After the ordinances were read, the motion passed by a vote of 7 ayes to 0 nays.**

227
228 Mayor Pro Tem Pruitt made a motion to approve Consent Agenda Item #4 contingent
229 upon the proposed ordinance not having an effect on homeowners as it pertains to their
230 yards. Councilmember White seconded the motion, which passed unanimously of
231 council (7 ayes to 0 nays).

232
233 Mayor Pro Tem Pruitt pulled item #5 to ask further questions regarding the width of the
234 extension and the delay in repairs. City Engineer Tim Tumulty gave brief history and
235 explanation of the project. Mayor Pro Tem Pruitt made a motion to approve Consent
236 Agenda Item #5. Councilmember Daniels seconded the motion, which passed
237 unanimously of council (7 ayes to 0 nays).

238
239 Mayor Pro Tem Pruitt made a motion to approve Consent Agenda Item #13 contingent
240 upon the language of provisions only as it relates to people in private parking lots.



Masterplan

Explanation of Request

South and east of IH30, south and west of Townsend Road

Site:

The 2.857-acre SUP site, located north of Costco and southeast of the Toyota dealership, is developed with a 4-story, 119,000-square foot climate controlled self storage facility operated by Cube Smart. The facility also includes 29 outside vehicle storage spaces for lease.

Specific Use Permit:

The City of Rockwall adopted Specific Use Permit 121 (S-121, Ordinance 14-25) on July 7, 2014, authorizing development of the 4-story 118,800-square foot self storage facility. The City of Rockwall issued the building permit in August of 2015 and after construction and inspection, a certified of occupancy in September of 2016. The property is in the process of undergoing a change of ownership. During review of site development data, a few discrepancies were found between S-121, the permitted building plans, and the actual facility. The request is to modify the SUP to align with actual development to address non-conformities that present real estate or transactional issues. The items requested to be addressed include:

Maximum storage unit count: The concept plan exhibit tied to S-121 cites a maximum storage unit count of 579 units. A total of 579 units is also referenced on the site plan carried forward and included in the approved building plans; however, the floor plans in the same approved building plan set shows 827 units. The facility was constructed with over 800 units initially, but the number of interior units has been decreased to 778 currently. This flexibility is needed to adapt and meet customer needs of certain unit sizes. The change in sizes impacts the total number of units.

The “579” figure was inadvertently placed on the site plan and conveyed as part of the SUP application materials. As such, the total count of 579 units cited as part of the SUP application was an oversight and underrepresented the total number of units planned for a facility of this type and size. Self-storage facilities that are multi-story, and predominately climate-controlled generally have a disproportionate number of smaller units of 5’ x 5’ or 5’ x 10’ as opposed to a greater number of larger units found with one-story conventional facilities with drive up access. The subject facility’s mixture caters to domestic needs where smaller units accommodate a limited amount of stored goods that customers can comfortably transport in an elevator to an upper story. Platinum Storage, the developer and currently a minority owner of the facility, always intended to accommodate 800 or more total storage units depending on the fluctuating sub-market demand from customers. The floor plans submitted as part of the building plans supports this intent. Furthermore, there are several multi-story self storage facilities

in DFW that have unit counts between 700 to 1,000 units or more. The chart at the bottom of the next section provides a few examples of comparable facilities.

Maximum unit density: The City of Rockwall, unlike most municipalities, limits the unit density of self storage facilities with a cap of 125 units per acre. S-121 allowing a maximum of 579 units on 2.857 acres, yields a density of 202 units per acre. The approved building plans allowing 827 units, yields a density of 289 units per acre. The proposal of 794 units would yield a density of 278 units per acre. As may be recalled, the property is buried behind and at a lower elevation than adjacent retail buildings. Thus, for this type of facility to have the visibility necessary to be successful, it had to be constructed at four stories in height, and a density that supports and that is commensurate with the invested infrastructure. The maximum density in the development code of only 125 storage units per acre would merely accommodate the first generational one story non-climate controlled facilities. It is common for three- and four-story self storage facilities to yield densities around 200 units per acre or more. The City of Rockwall’s density parameter would never accommodate a modern multi story class A climate controlled facility unless the land for which it sits coincidentally were large enough to minimize the density. The number of units and density of this facility is not uncommon. Here are some of the many modern class A facilities in DFW that have comparable characteristics of scale and high density:

FACILITY	ADDRESS	CITY	FLOOR AREA	NO. OF UNITS	DENSITY UNITS/PER ACRE
Storage 365	3400 Post Oak Boulevard	Fort Worth	151,000	966	241
CubeSmart	6831 W. Northwest Highway	Dallas	80,000	528	704
Storage 365	3940 Plano Parkway	Plano	119,600	885	640
Storage 365	2696 Burney Road	Arlington	152,400	1,059	185
Storage 365	Abrams	Richardson	149,000	1,041	400
Public Storage	2104 Hedgcoxe	Plano	103,000	805	206

Maximum floor area: The concept plan exhibit tied to S-121 cites a maximum floor area of 118,800 square feet. The approved building plans cite a maximum floor area of 124,480 square feet. The most recent survey of the property reflects a building floor area of 119,000 square feet. The proposed SUP amendment would modify the maximum floor area to align with the approved building plans from 118,800 to 119,000 square feet. The discrepancy in total floor area is minor and inconsequential particularly considering the scale of the development and the lack of occupancy and intensity of a self storage development. The difference in floor area is imperceptible and poses no harm or detriment to the health, safety and welfare.

Parking compliance: The off-street parking requirement is based on the number of storage units. The City of Rockwall requires a base of three parking spaces and one parking space for each 100 storage units. The SUP amendment would include adjusting the required parking from nine to 11 to align with the adjustment to the total number of storage units. There are currently nine parking spaces on-site.



The enclosed updated Concept Plan reflects striping two additional parallel spaces on existing concrete near the office to provide a total of 11 spaces to satisfy the parking requirement. Self storage facilities generate minimal traffic of 2 to 4 visitors per hour. Moreover, most visitors are customers who would park in an unloading/loading area adjacent to the building as opposed to a conventional parking space. Conventional parking spaces are typically used by one employee, the occasional prospective customer visiting the office, or an occasional service or delivery truck. As such, most of the 11 parking spaces (or currently nine spaces) go underutilized. Nonetheless, the proposal includes adjusting the supply to comply with the city’s parking requirements.

Outside vehicle storage spaces: SUP-121 grants 28 outside vehicle storage spaces for recreational vehicles, boats, and other large vehicles. There is capacity for one additional storage space at the far northern corner near the dumpster. The request includes authorization to allow the one additional storage space for a total of 29 outside vehicle spaces. The entire vehicle storage area is completely enclosed and screened from adjacent properties. The one additional space has no impact to adjacent properties. Below is a summary of the discrepancies in chart form:

DEVELOPMENT STANDARD	SPECIFIC USE PERMIT (SF)	APPROVED BUILDING PLANS/CO	ACTUAL	PROPOSED
Floor area	118,800	124,480	119,000	119,000
Total units	579	827	778	794
Unit density	203	289	273	278
Parking required (3 + 1/100 units)	9	12	11	11
Outside vehicle spaces	28	28	29	29
Parking provided	9	9	9	11

Masterplan requests amendment of SUP - 121 to align the development site data in the Specific Use Permit ordinance with the permitted and actual development. The developer always intended to have approximately 800 units, not unlike many comparable facilities in DFW. We ask the city to approve the amendment to resolve these matters. The facility is the only one of its kind in the sub-market and it caters to customers who prefer to use a climate control facility in a retail area vs. a conventional one story drive up facility in an industrial area. The facility is at 89% capacity, indicating there is strong demand and no oversupply. The previously presented size and scale of the building is generally consistent with actual development. Also, the total number of units and density of self storage, as opposed to apartments or office, has minimal if any realized impact on the area given the very limited traffic generation and lack of consistent human occupancy of these facilities. The site accommodated one additional vehicle storage space at the north/northwest corner of the site.

November 4, 2020

Hon. Eric Chodun and Rockwall Planning and Zoning Commission
Rockwall City Hall
385 South Goliad
Rockwall, Texas 75087

Attn: Ryan Miller, AICP
rmiller@rockwall.com

RE: **Z2020-043, Approval of an amendment to an existing Specific Use Permit ("SUP")**

Dear Chairman Chodun and Planning and Zoning Commission,

Thank you for the opportunity to allow us to request a modification to the Specific Use Permit referenced above. As the representative from the current ownership group of the self-storage facility at 1245 TX-276, Rockwall, TX 75032 (the "Property"), which is currently managed by CubeSmart, I would like to both introduce myself and relay a few thoughts/concerns after having watched the October 27, 2020 meeting. Having watched that video, we understand the issues raised by P&Z and respectfully request your consideration for our request given the circumstances presented in this letter.

In January of 2017, our seven-person group of friends and family formed Wolverine Self-Storage Investments ("Wolverine"). We pooled our funds and purchased the Property, which included the self-storage facility, from the developer, this is the only property that we purchased. At the October 27, 2020 P&Z meeting, it did not seem that this important fact was made clear - that Wolverine is a separate entity from the previous owner – the developer. Wolverine was not involved in the original SUP zoning or the construction of the building.

Over the almost four years we have owned the Property, we have used CubeSmart as the professional manager and we have strived to serve the Rockwall community at the highest level, which includes keeping the property looking sharp, offering the highest level of customer service and trying to be a positive influence through interaction with the chamber of commerce along with other activities. We have brought occupancy from less than 10% to 89% and we have over 650 tenants. This is a world-class, four-story, climate-controlled, state of the art storage facility not to be confused with a typical drive up product. If you have never visited the facility, I welcome you to do so and I think you will be impressed.

Prior to closing on the January 2017 acquisition, Wolverine relied on several due diligence items to ensure the property was worthy of continued and prospective operations including the September 2016 Certificate of Occupancy issued by the City that indicated to us that the City approved construction and operation of the Property.

We regret that we were not made aware of the difference in unit count from the SUP in our purchase diligence and would have insisted that the unit count upon issuance of Certificate of Occupancy agree

with the SUP before the purchase had we known. We learned of the discrepancy for the first time just a few weeks ago and began the process to try and correct the problem.

As noted at the October 27th P&Z meeting, the Property had over 874 self-storage units at the time we purchased it, and over the past few years we have consolidated to 774 self-storage units – a reduction in excess of 100 units. The unit reduction is a result of our focused approach on providing the product mix that the community demands and when possible, we have combined smaller units into larger ones. At this juncture, we do not foresee any further unit combinations for two reasons: 1) the existing offering appears to match the community's need as we are 89% occupied and 2) further unit combinations become very challenging physically as the unit layout does not support such combination without substantial physical alteration (if possible) and capital investment.

I noted that the unit density was the primary topic that was discussed at the October 27th P&Z meeting. I want to stress that we have not experienced any issues with traffic or with the nine parking spaces throughout our ownership period. The nature of operation of a self-storage property is such that customer visits are generally infrequent and for very short periods of time. I have attached a summary of data from the gate security system below for the first week of September 2020 which identifies every customer that enters the property who all have 24-hour secure access. This data shows we average about 28 visits per day during the peak 12-hour period that means we have about 2.4 visits per hour. Thus, we are using less than 30% of the current parking spaces. Our customers on average are visiting the property just 1.3 times per month or about every 23 days. It is our view that there will be no negative public impact if you were to grant our request.

We are of course very concerned about the impacts of denying the current request such as the need to reduce the number of units currently being rented and the lost revenue to both the City and our ownership which we understand should not be issues placed on the P&Z. We hope, though, that our reliance on the Certificate of Occupancy when we bought the facility from the developer is taken into consideration with this application and our attempt to correct the discrepancies.

We recognize the City of Rockwall must make decisions that benefit the community and align with parameters that govern activities of all sorts and in no way does the Wolverine group wish to upset or negatively impact anyone. Please consider the unique circumstances of this scenario when contemplating our request. We regret that you are having to address this matter and sincerely apologize that we come to you asking for help.

I plan to attend the November 10th meeting and offer any assistance or additional information you require. Absent any unforeseen air travel issues, I look forward to meeting all of you. I appreciate that Ryan Miller offered to share this note with you on my behalf. If you have any questions in the interim or would like other information prepared for the meeting please let Ryan know or reach out to me directly if you wish.

Sincerely,

A handwritten signature in black ink, appearing to read 'Benjamin Carr', written in a cursive style.

Benjamin Carr

Contact Information:

Benjamin.x.Carr@gmail.com

(215) 932-4198

Rockwall Customer Visits

Date	Day	Day count	12 hr day per hour
9/1/2020	Tuesday	25	2.08
9/2/2020	Wednesday	24	2.00
9/3/2020	Thursday	25	2.08
9/4/2020	Friday	34	2.83
9/5/2020	Saturday	32	2.67
9/6/2020	Sunday	22	1.83
9/7/2020	Monday	36	3.00

Actual Total for the Week 198

Average Per Day 28.3

Of Visits Each 12 hours 2.4

Average Per Month 849

Current Customers Count 651

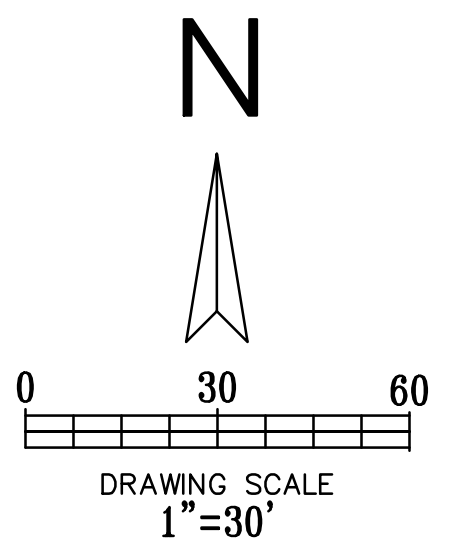
Visits Per Month 1.3

Days Between Visits 23

THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAIGON, P.E. NO. 112767 ON 10/21/20.

CONCEPT PLAN
 SELF-STORAGE ON TOWNSEND DRIVE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

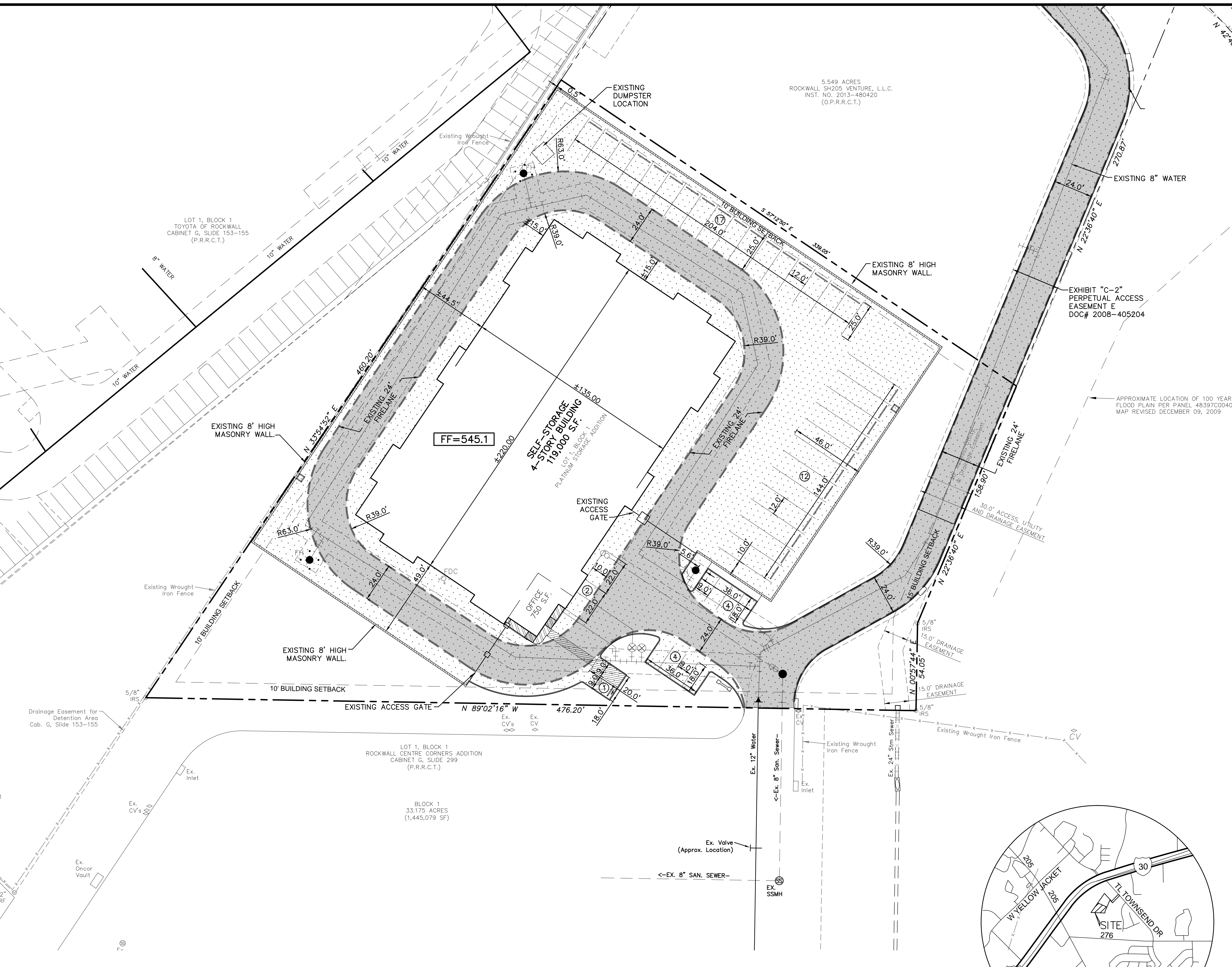
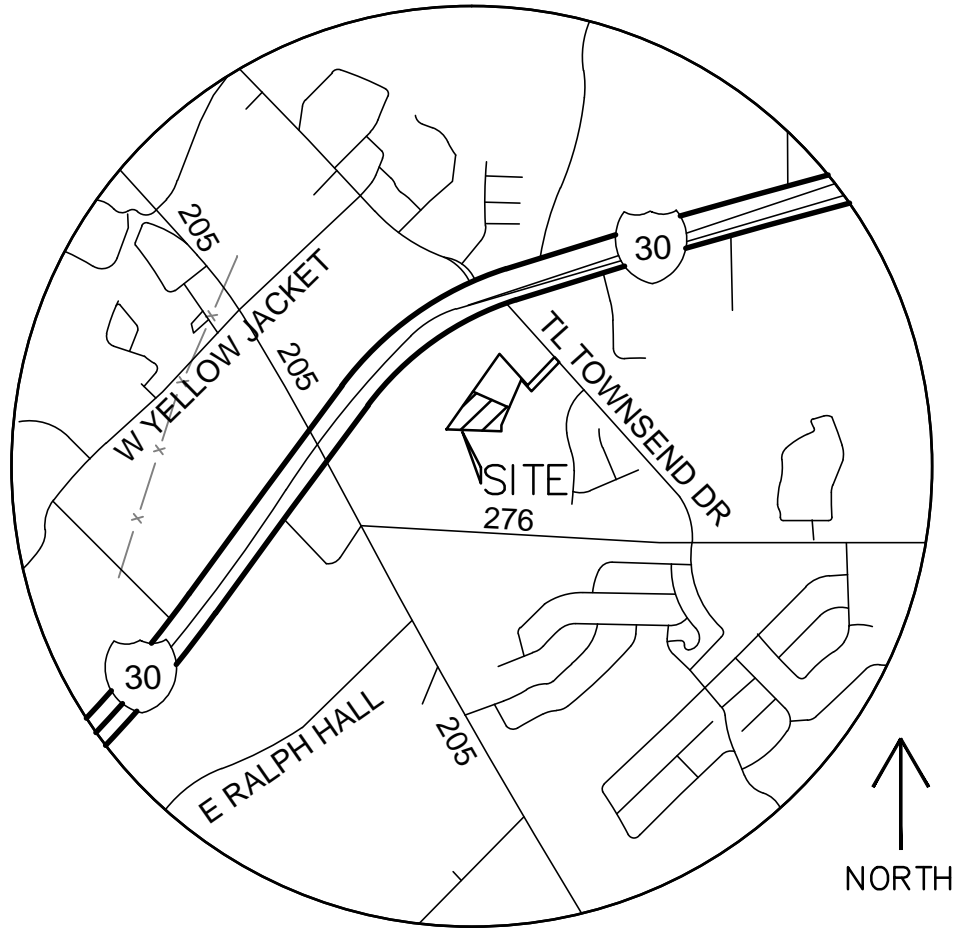
PLOT DATE	10/21/20
DRAWING SCALE	1" = 30'
PROJECT NUMBER	CD14111
SHEET NUMBER	CP



- LEGEND**
- EXISTING CURB
 - Ⓢ — PARKING SPACES IN A ROW
 - Ⓛ — EXISTING LANDSCAPING
 - ▨ — EXISTING CONCRETE SIDEWALK
 - ▤ — EXISTING CONCRETE DRIVES AND PARKING
 - — FIRE LANE

- SITE NOTES:**
1. THE EXISTING BUILDING IS FIRE SPRINKLERED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 3. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ECT AS REQUIRED BY CODE.
 4. THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE SITE FOR CONSTRUCTION.
 5. DETENTION IS PROVIDED FOR THE EXISTING DEVELOPMENT.
 6. THERE IS NO PROPOSED CONSTRUCTION AS PART OF THIS APPLICATION.

SITE DATA TABLE	
ZONING:	SUP NO.: S-121
LAND USE:	SELF STORAGE
SITE ACREAGE:	2.857 ACRES (124,467 SQ FT)
BUILDING FOOTPRINT:	30,950 SQUARE FEET
BUILDING AREA:	119,000 SQUARE FEET
NUMBER OF UNITS:	794
BUILDING HEIGHT:	4 STORIES (50'-0" HEIGHT)
PARKING REQUIREMENT:	3 SPACES + 1 SPACE PER 100 UNITS
PARKING PROVIDED:	11 SPACES
PARKING PROVIDED:	11-9'x18' PARKING SPACES (1 HANDICAPPED INCLUDED)
RV/BOAT PARKING SPACES:	29 SPACES



!!! CAUTION !!!
UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

ENGINEER:
 CUMULUS DESIGN, INC.
 FIRM #14810
 P.O. BOX 2119
 EULESS, TEXAS 76039
 PH: 214-235-0367
 FAX: 214-235-0546

OWNER:
 WOLVERINE SELF-STORAGE
 INVESTMENTS-ROCKWALL EDP LLC
 4057 VEGA LOOP
 SHINGLE SPRINGS, CA 95682

Vertical text on the left margin: 'Cumulus Design, Inc. is not responsible for the accuracy of the information provided in this drawing without the express written permission of Cumulus Design, Inc.' and 'This drawing is the property of Cumulus Design, Inc. and shall not be reproduced or used in any way without the express written permission of Cumulus Design, Inc.'

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN *EXISTING MINI-WAREHOUSE FACILITY* ON A 2.857-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK A, PLATINUM STORAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage Investments-Rockwall EDP for the approval of a Specific Use Permit (SUP) for an *Existing Mini-Warehouse Facility* for the purpose of amending S-121 [Ordinance No. 14-25] to account for as-built conditions on a 2.857-acre parcel of land identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District], addressed as 1245 SH-276, and being more specifically described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 14-25*; and,

SECTION 2. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Existing Mini-Warehouse Facility* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(J)(1), *Mini-Warehouse*, of Article 04, *Permissible Uses*, and the development standards

contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) All construction and operations on this property shall generally conform to the *Concept Plan* contained in *Exhibit 'B'* and the *Building Elevations* contained in *Exhibit 'C'* of this ordinance.
- 2) The maximum number of storage units permitted on the *subject property* shall be 794-units.
- 3) All transparent fences shall be wrought iron, and when necessary shall incorporate landscaping/living screening to screen the interior of the facility. Chain-link fencing is prohibited.
- 4) The height of the building shall not exceed four (4) stories or 60-feet in total height.
- 5) Outside storage shall be limited to the areas depicted on the *Concept Plan* in *Exhibit 'A'*, and shall be entirely screened by a row of evergreen trees (*i.e. Leyland Cypress*) to be planted along the eastern property line. No outside storage of any kind shall be permitted outside of the areas depicted on the *Concept Plan*. Outside storage shall be limited to the storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks and trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on this site.
- 9) All poles shall be limited to a maximum height of 20-feet and all light fixtures proposed for the site shall comply with the requirements of the Unified Development Code (UDC).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF DECEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A'
Legal Description and Location Map

Address: 1245 SH-276

Legal Description: Lot 4, Block A, Platinum Storage Addition



Exhibit 'A'

Legal Description and Location Map

BEING a 2.857-acre tract of land, being a portion of a 5.549 acres tract of land recorded in instrument No. 2013-480420, situated in the *JOSEPH CADLE SURVEY, ABST#65* and the *N.M. BALLARD SURVEY ABST. #48*, in the City of Rockwall, Rockwall County, Texas, and being a portion of a 65.96 tract of land recorded in *Volume 4663, page 281* of the Official Public Records of Rockwall County, Texas and being all and being more particularly described as follows:

BEGINNING at 5/8-inch iron rod set for the northerly northwest corner of Lot 1, Block 1 of Rockwall Centre Corners Addition according to the plat recorded in *Cabinet G, Slide 299* of the *Plat Records* of Rockwall County, Texas and being located in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in Cabinet G, Slide 153-155 Plat Records of Rockwall County, Texas;

THENCE along the southeasterly line of said Toyota of Rockwall Addition, NORTH 33°54'52" EAST a distance of 460.20-feet to a 5/8-inch iron rod to be set in the southeasterly line of Lot 1, Block 1 of Toyota of Rockwall according to the plat recorded in *Cabinet G, Slide 153-155* of the *Plat Records* of Rockwall County, Texas and being the west corner of a 2.692 acre tract being a portion of a 5.549-acre tract of land recoded in *Instrument No. 2013-480420* Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southeasterly line of said Lot 1, Block 1, SOUTH 56°05'08" EAST a distance of 339.05-feet to a 5/8-inch iron road to be set in the southwest line of said 65.96-acre tract of land being the southeast corner of a 2.692-acre tract being a portion of a 5.549-acre tract of land recoded in *Instrument No. 2013-480420* Rockwall SH205 Venture, LLC of the Official Public Records of Rockwall County, Texas;

THENCE departing the southwest corner of said 2.692-acre tract of land and traveling through said 65.96-acre tract of land the following course and distances:

SOUTH 22°36'40" WEST a distance of 158.90 feet to a 5/8-inch iron rod set;

SOUTH 00°57'44" WEST a distance of 54.05 feet to a 5/8-inch iron rod set in the north line of said Lot 1 of Rockwall Centre Corners Addition;

THENCE along said north line, NORTH 89°02'16" WEST a distance of 476.20 feet to the *POINT OF BEGINNING*;

Exhibit 'B':
Concept Plan

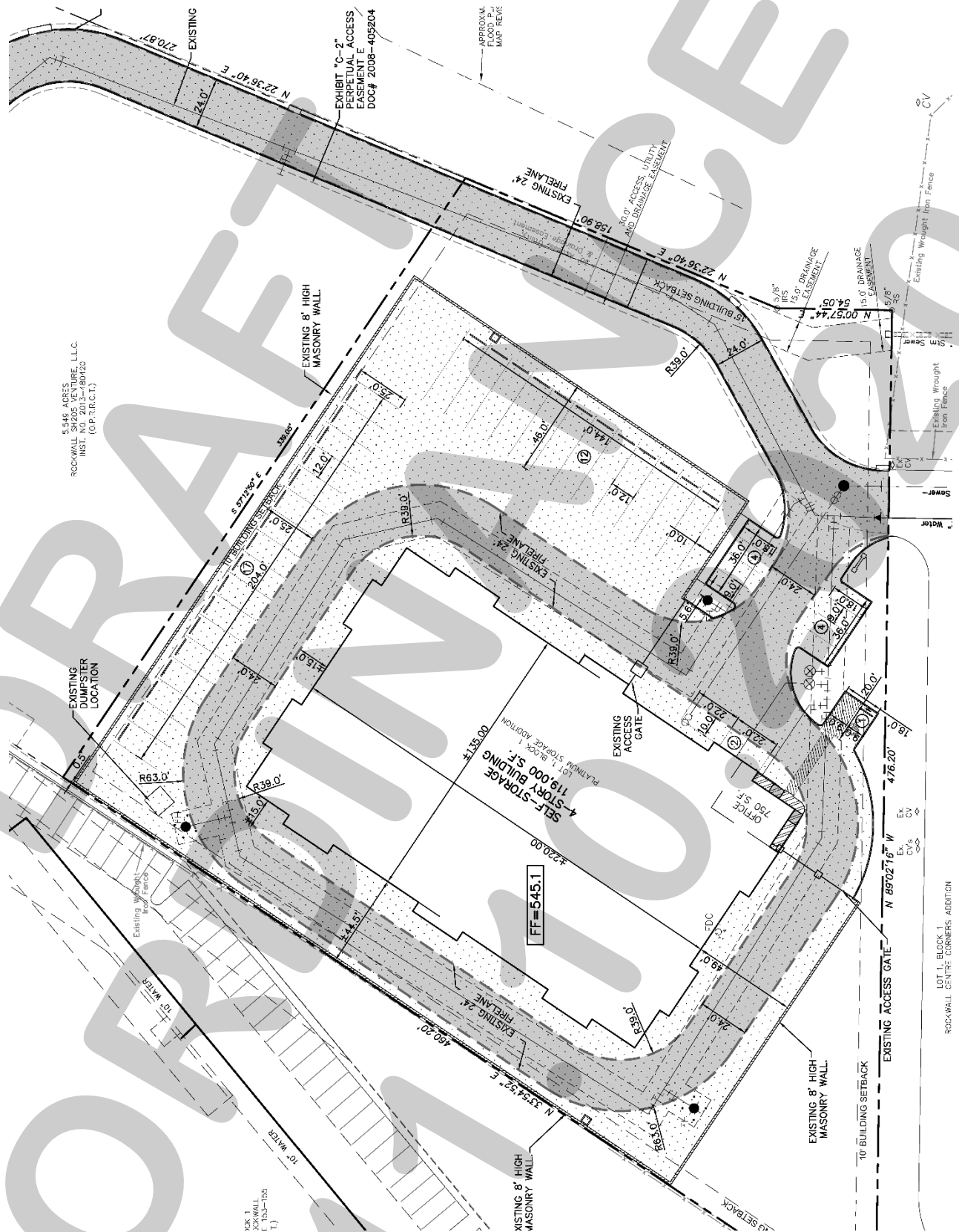


Exhibit 'C':
Building Elevations



1 EAST ELEVATION
1/8" = 1'-0" SCALE



2 SOUTH ELEVATION
1/8" = 1'-0" SCALE



3 PERSPECTIVE VIEW
1/8" = 1'-0" SCALE



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Casey Cox
CASE NUMBER: Z2020-044; *Specific Use Permit (SUP) for a Residential Infill for 102 Thistle Place*

SUMMARY

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-43*. At the time of annexation, the property was zoned Agricultural (AG) District. On November 12, 1973, the subject property was rezoned from an Agricultural (AG) District to Planned Development District 8 (PD-8) for single-family land uses by *Ordinance No. 73-48*. The subject property was platted as Lot 4, Block A, as part of the Chandlers Landing Phase 7, Installment 2 final plat, which was approved by the City Council on June 7, 1976. On September 16, 2013, the City Council approved a replat [P2013-026] that combined the subject property and Lot 5, Block A to create one (1) residential lot (*i.e. Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2*). On September 16, 2014, the City Council approved a replat subdividing Lot 23, Block A, Chandler's Landing, Phase 7, Installment 2 into two (2) residential lots (*i.e. Lots 24 & 25, Block A, Chandler's Landing Phase 7, Installment 2*). The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 102 Thistle Place. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.1928-acre vacant parcel of land (*i.e. Lot 3, Block A, Chandler's Landing, Phase 7, Installment 2*). Beyond this are two (2) single family homes (*i.e. 121 & 123 Yacht Club Drive*) zoned Planned Development District 8 (PD-8) for single-family land uses. North of this is Yacht Club Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a single-family home (*i.e. 104 Thistle Place*) zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.53-acre tract of land indicated as the Spyglass Hill, Phase One Subdivision, which is zoned for multi-family land uses.

East: Directly east of the subject property are two (2) tracts of land (i.e. Tract 134 & 134-16 of the E. Teal Survey, Abstract No. 207) owned by the Chandler's Landing Homeowners Association (HOA), and which total 4.263-acres. These tracts serve as a plaza and open space for the Chandler's Landing Subdivision. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is Thistle Place, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) single-family homes (i.e. 103 Thistle Place & 6003 Volunteer Place), which are zoned Planned Development District 8 (PD-8) for Single-Family land uses. West of this is Henry M. Chandler Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Chandler's Landing, Phase 7, Installment 2 Subdivision, which has been in existence June 7, 1976, consists of 34 lots, and is 91.18% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Thistle Place, Gretel Place, and Volunteer Place compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Thistle Place, Gretel Place, & Volunteer Place and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Thistle Place.
Year Built	1979-2012	N/A
Building SF on Property	1,586 SF – 4,949 SF	3,974 SF (2,952 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	25-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	X>7-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>20-Feet
Building Materials	Brick and Siding (Secondary)	Stone, Siding, and Stucco
Paint and Color	Red, White, Grey, Blonde, and Brown	Undefined by the Applicant
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing, J-swing, and no garages.	The garage will be attached and located approximately one (1) foot in front of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage one (1) foot in front of the front façade of the single-

family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that single-family home directly south of the subject property also has a garage in front of the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) and Planned Development District 8 (PD-8). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Thistle Place, Gretel Place, and Volunteer Place and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 17, 2020, staff mailed 159 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, and Spyglass Phase 1, 2, & 3 Homeowner's Associations (HOAs), which are HOA's within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 102 Thistle Place

Subdivision Chandler's Landing

Lot 24 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Single family

Current Use land

Proposed Zoning Single family

Proposed Use single family home

Acreage 0.21

Lots [Current] _____

Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Coastal Plains estates

Applicant same

Contact Person Casey Cox

Contact Person _____

Address 6400 sunset blvd

Address AS

City, State & Zip Rowlett TX, 75088

City, State & Zip _____

Phone 618-218-5339

Phone _____

E-Mail coastalplainsest@gmail.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

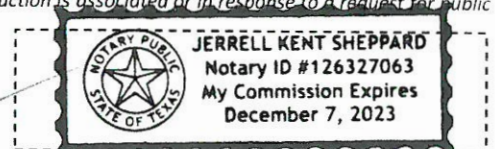
Before me, the undersigned authority, on this day personally appeared Casey M. Cox [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

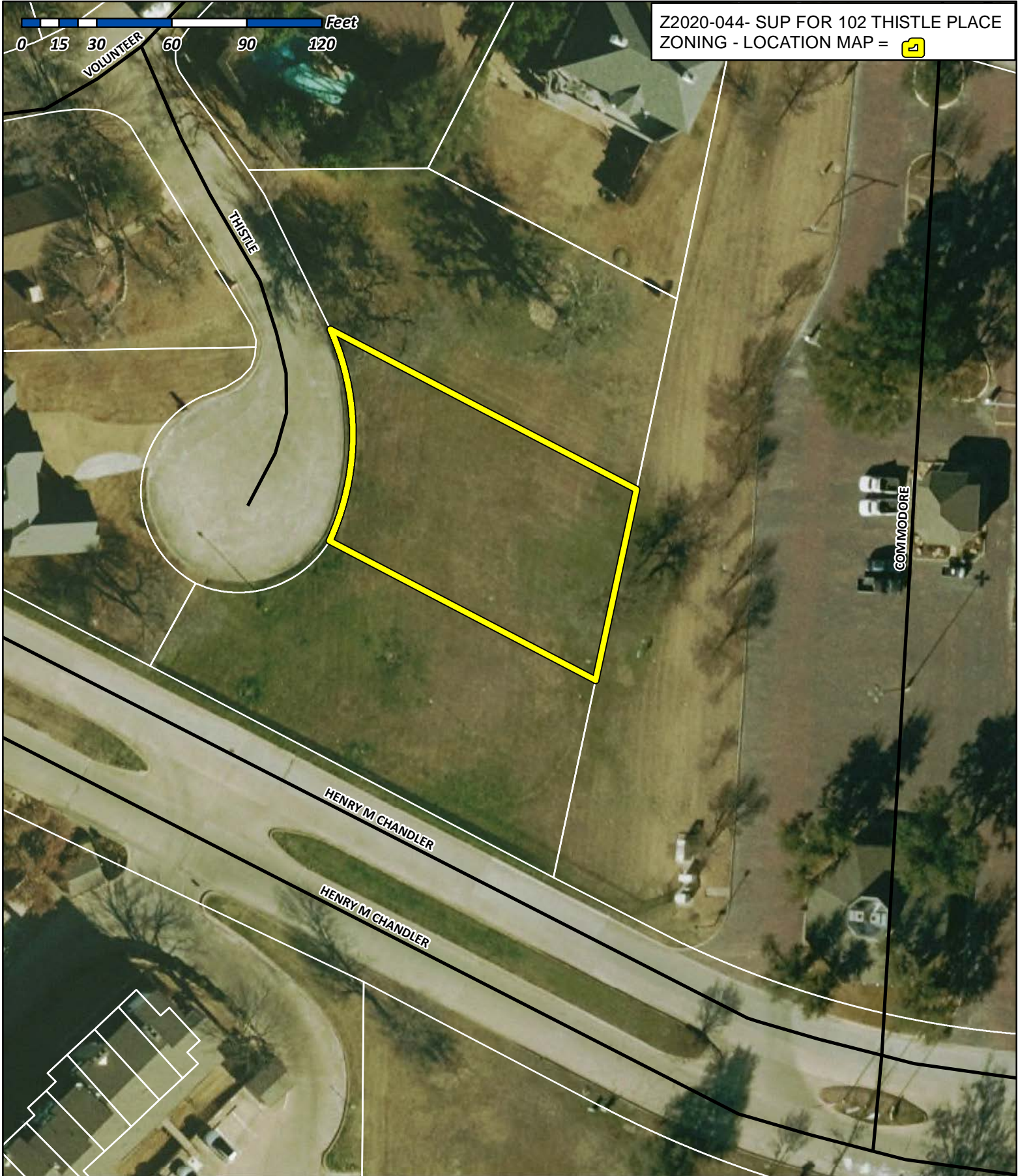
Given under my hand and seal of office on this the 16th day of October, 2020.

Owner's Signature _____

Notary Public in and for the State of Texas _____



My Commission Expires _____



Z2020-044- SUP FOR 102 THISTLE PLACE
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

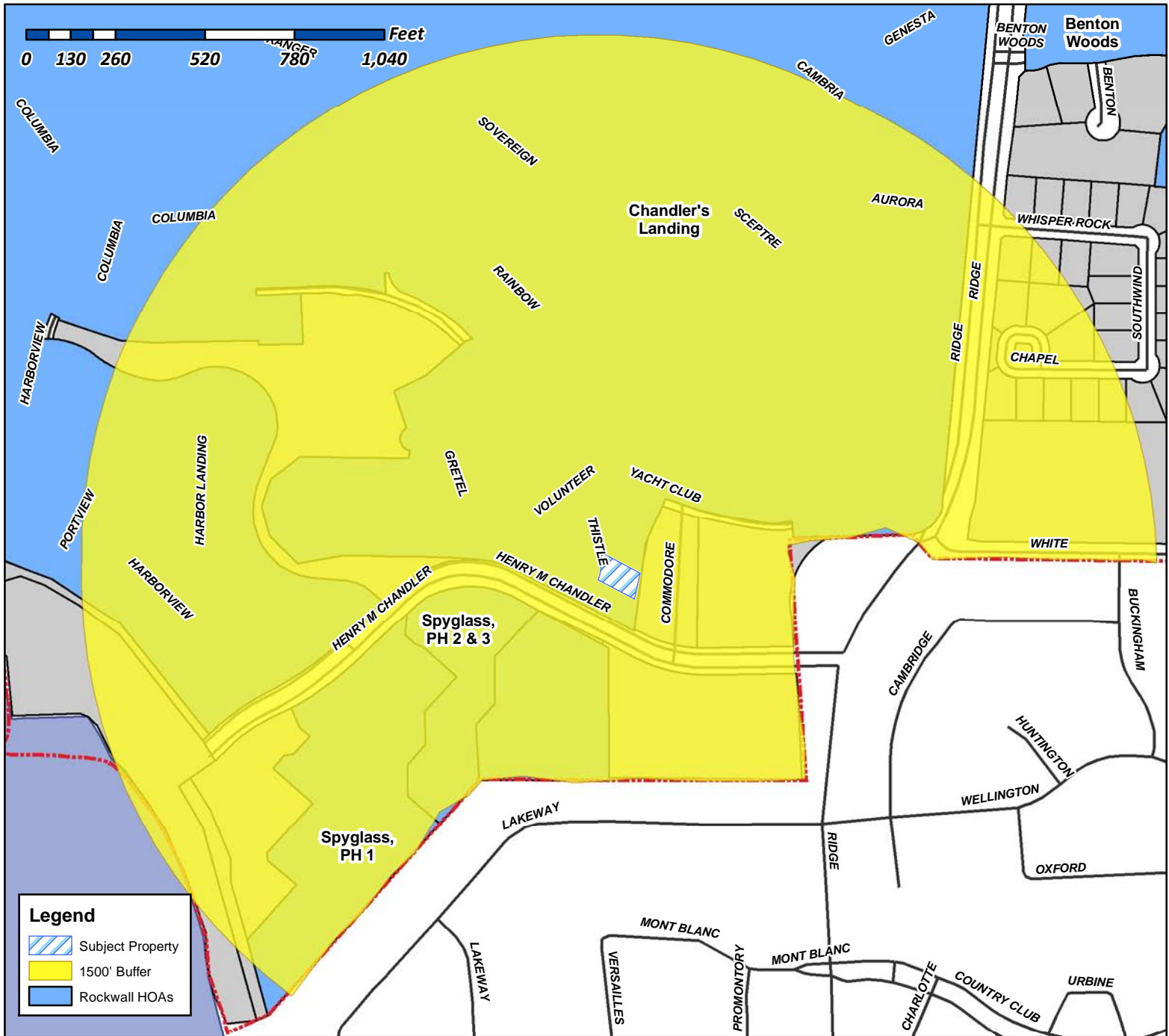




City of Rockwall

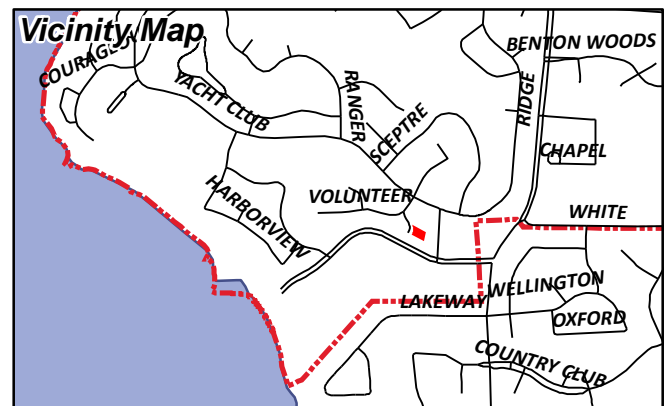
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-044.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-044 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

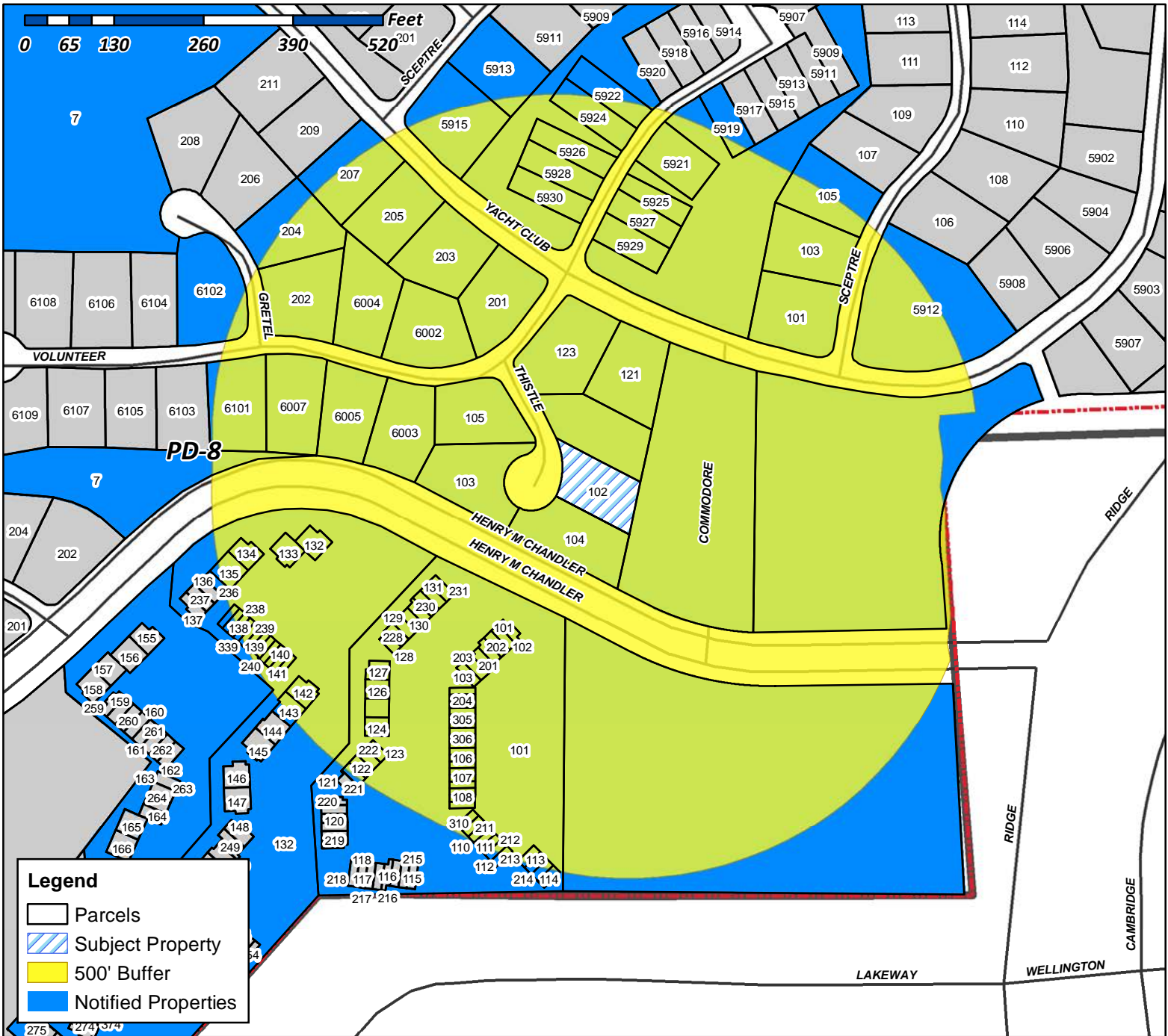
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City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
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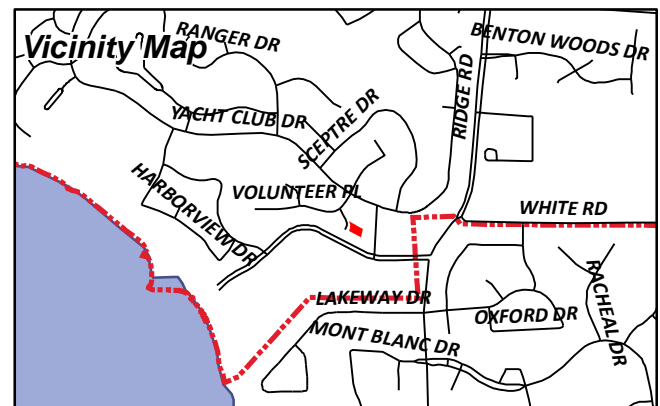
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Case Number: Z2020-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 102 Thistle Place

Date Created: 10/19/2020

For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLERDR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLEPL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCPMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

ROMER ENTERPRISES LLC
111 HENRY M CHANDLERDR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUBDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLERDR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLERDR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLERDR
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLERDR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

CGN SPYGLASS LLC
143 HENRY M CHANDLERDR
ROCKWALL, TX 75032

WEBSTER MARY ANN
14621 LAKECREST DR
ADDISON, TX 75001

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLERDR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETEL PL
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETEL PLACE
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

ALLEN FRANCIS C
204 SOVEREIGN CT
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLERDR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

ARMSTRONG D
236 HENRY M CHANDLERDR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLERDR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLERDR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLERDR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEER PL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEER PL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-044: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-044: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

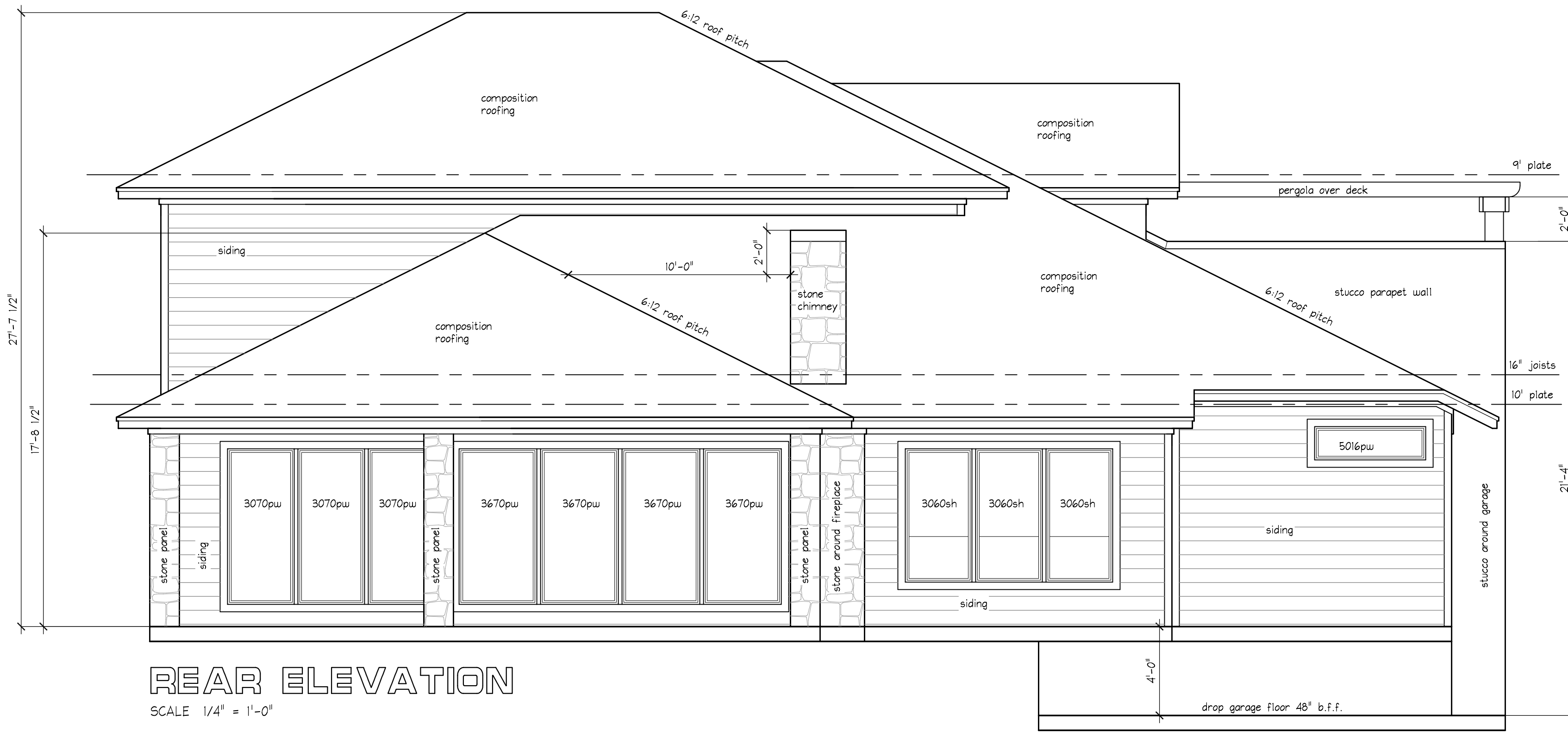
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS:

- 8/3/2020
- 8/11/2020
- 9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

These plans are intended to provide the basic construction information necessary to substantially complete this structure. Like most home designers, this firm, J. Karlovich Home Design, does not provide structural or engineering design. Every effort has been made to ensure all dimensions are correct and governmental regulations have been met. If any error or omission does occur it is the sole responsibility of the contractor and/or the owner to correct the error and/or omission at his own expense and not the responsibility of J. Karlovich Home Design. These plans are intended to be a one time use for this address ONLY.

Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

(c) copyright 2020 J. Karlovich Home Design

SHEET NO.

06

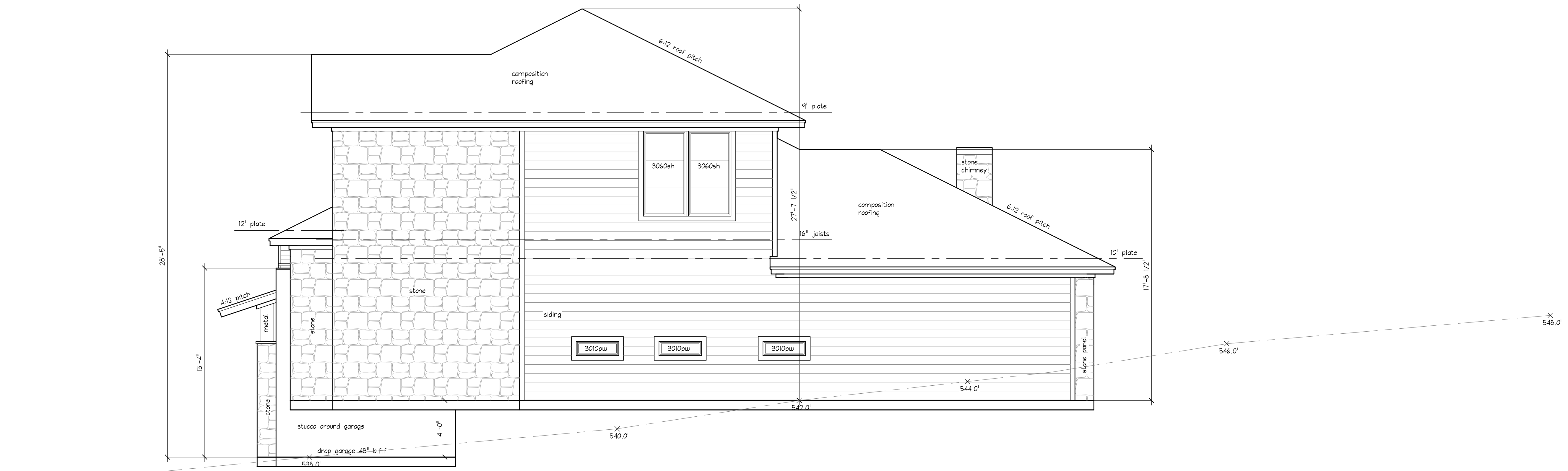
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Coastal Plains Estates
(618) 218-5339

A Custom House for :

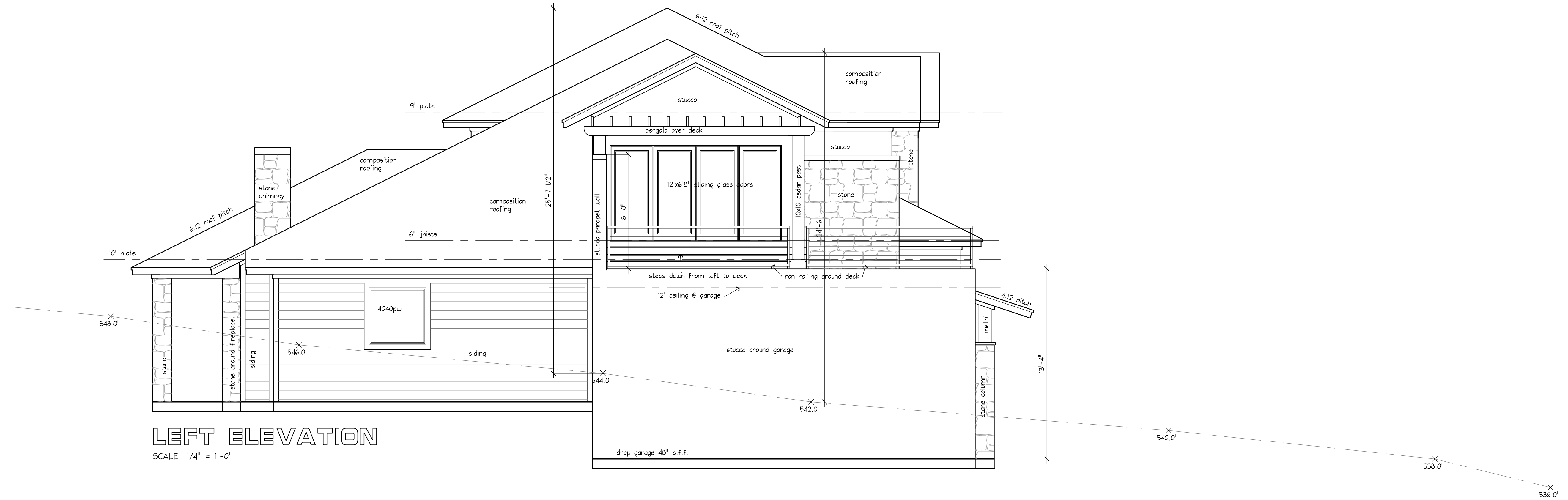
Spec House

102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas



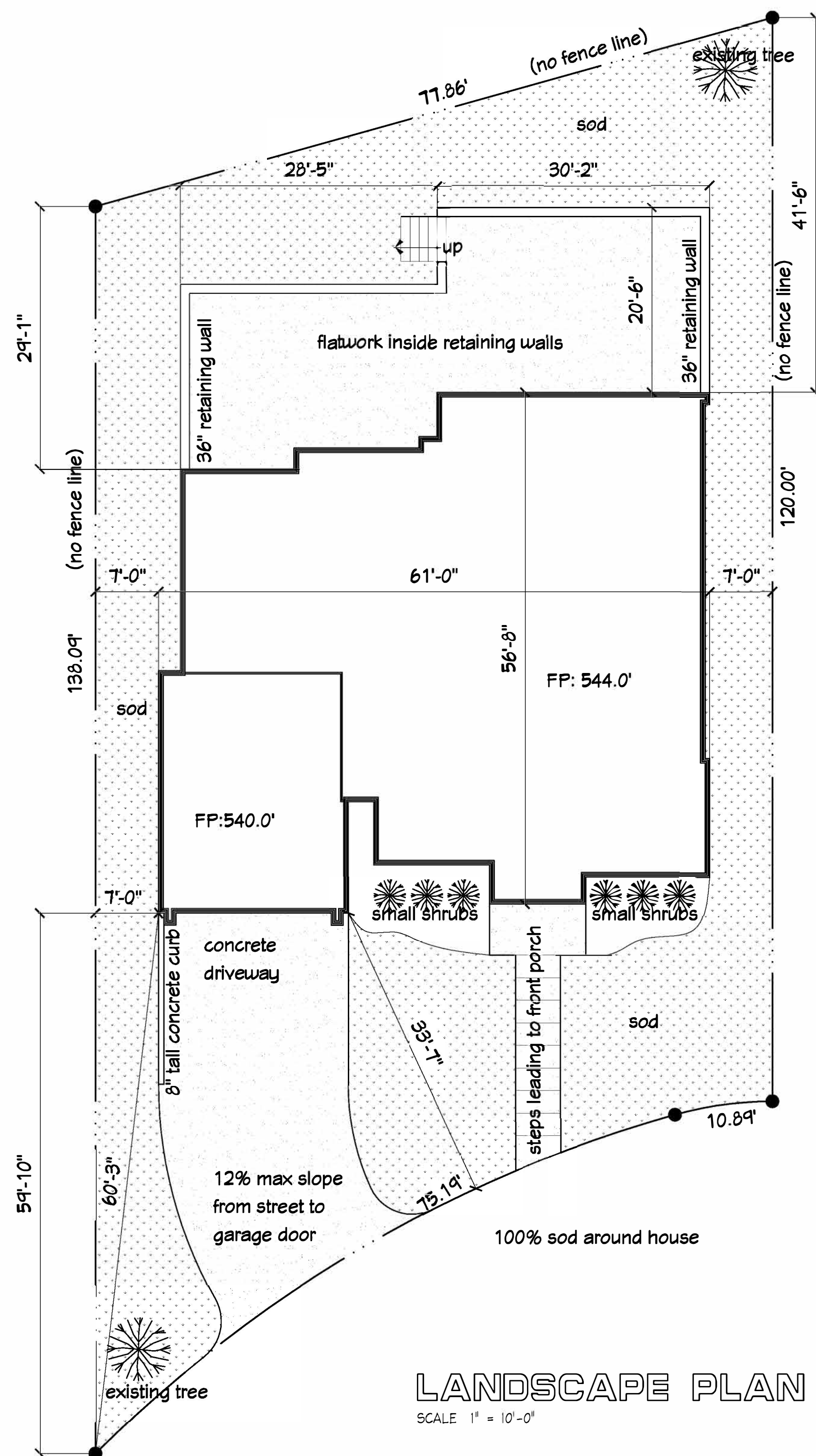
RIGHT ELEVATION

SCALE 1/4" = 1'-0"

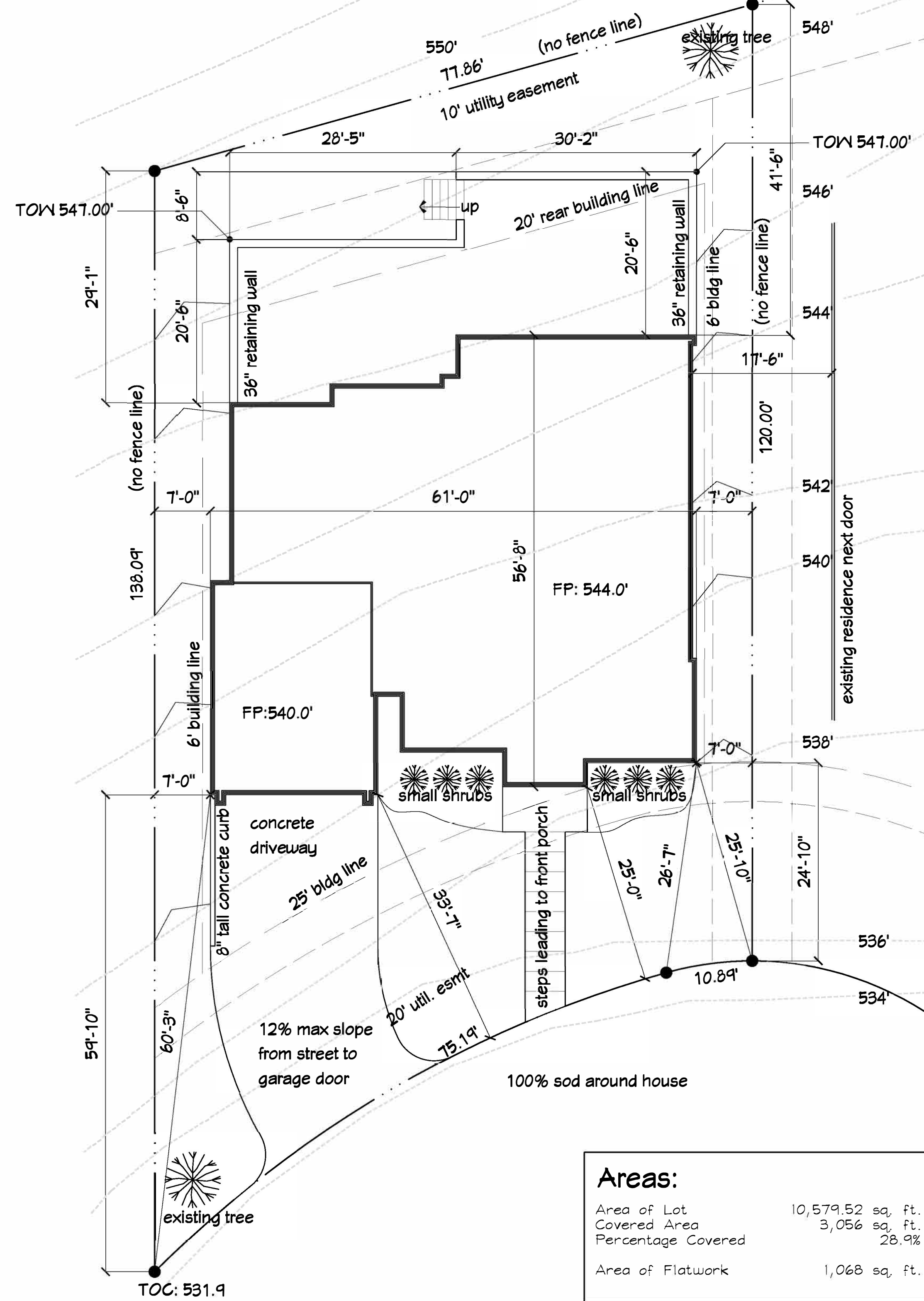


LEFT ELEVATION

SCALE 1/4" = 1'-0"

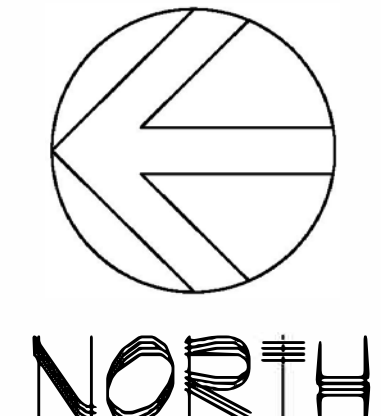


LANDSCAPE PLAN
SCALE 1" = 10'-0"



Areas:

Area of Lot	10,579.52 sq. ft.
Covered Area	3,056 sq. ft.
Percentage Covered	28.9%
Area of Flatwork	1,068 sq. ft.



PLOT PLAN
SCALE 1" = 10'-0"

REVISIONS:

8/3/2020
8/11/2020
9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

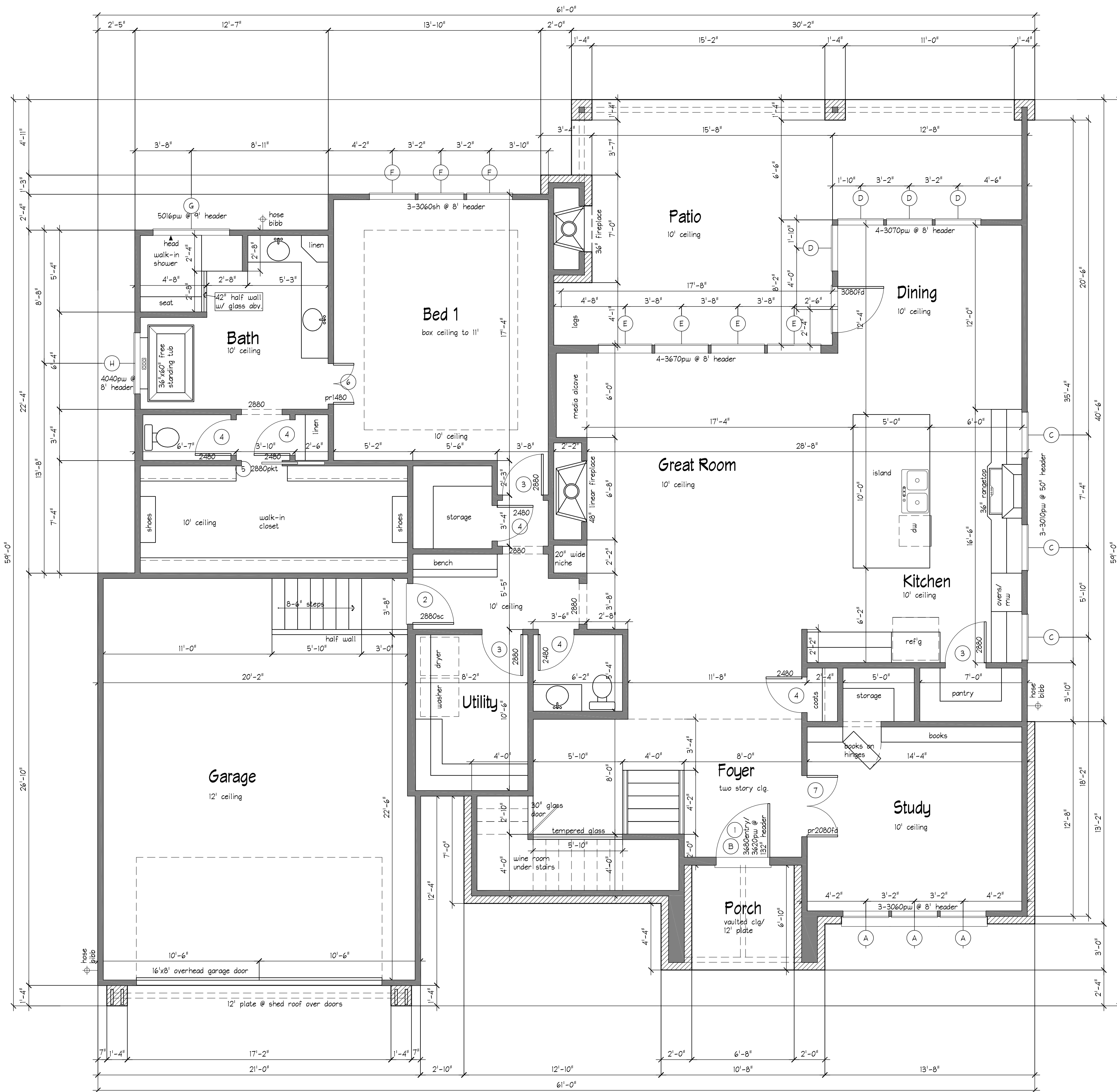
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Coastal Plains Estates
(618) 218-5339

A Custom House for :
Spec House
102 Thistle Place
Lot 24, Block A
Chandlers Landing #7
City of Rockwall, Texas

PLAN NOTES

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from face of stud to face of stud unless otherwise noted.
- Window sizes indicated on plans are noted by approximate rough opening size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view. Visual impact shall be minimized, i.e. mount as low as possible.
- Prefabricated fireplace construction shall meet or exceed all applicable codes regarding use of fire separations, clearances, etc. It is the contractor's responsibility to ensure that all items and construction meet or exceed code. Overall flue height shall be coordinated to match height shown on plans and shall not exceed the top of chimney chase as constructed.
- Contractor shall coordinate all closet shelving requirements.
- Do not scale drawings, follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- Bedroom windows shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear operable width of 20", a minimum net clear operable height of 24", and have a maximum finish sill height of 43" from finish floor.
- All glass located within 18" of floor, 24" of a door or located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper. For fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic hvac units shall be located within 20' of its service opening. Return air grilles shall not be located within 10 feet of a gas fired appliance.
- All walls and ceilings in garage and garage storage areas to have 5/8" type-X gyp. board w/ 1-hour fire rating. All ext. doors in garage to be metal or solid core doors including doors entering heat/cooled portion of residence.
- All fireplace chase walls shall be insulated inside and outside. Provide horizontal "draft stops" at each floor level by packing 6" (R-19) insulation between 2x4 joists.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, tape float and sand. (3 coats) Use 5/8" gypsum board on ceilings when supporting members are 24" o.c. or greater. Use 1/2" gypsum board on ceiling members less than 24" o.c.
- All bath and toilet area walls and ceilings shall have water resistant gypsum boards.
- All plumbing walls (first and second floor) shall be 2x6.



Areas:

First Floor Living Area	2,054 sq. ft.
Second Floor Living Area	918 sq. ft.
Total Living Area	2,972 sq. ft.
Garage	546 sq. ft.
Front Porch	60 sq. ft.
Covered Patio	385 sq. ft.
Total Slab Area	3,056 sq. ft.
Total Under Roof	3,974 sq. ft.
Deck (uncovered)	501 sq. ft.

Doors Schedule:

ID#	Size	Description	Quantity
1	3680	Special Front Entry as Selected	1
2	2880	Interior Solid Core (1 hour rated)	1
3	2880	Interior as Selected	3
4	2880	Interior as Selected	3
5	2880	Interior as Selected	3
6	2880	Interior as Selected	2
7	2080	Interior as Selected	2
8	2468	Interior as Selected	2
9	2468	Interior as Selected	2
10	2068	Interior as Selected	2
11	2668	Interior Solid Core (1 hour rated)	2
12	12 x 6 8"	Exterior Sliding Glass Doors	2

Windows Schedule:

ID#	Size	Description	Quantity
A	3060	Picture Window	5
B	3070	Picture Window	1
C	3070	Picture Window	3
D	3670	Picture Window	4
E	3060	Single Hung	6
F	5016	Picture Window	1
G	4040	Picture Window	1
H	2060	Picture Window	1
J	2030	Picture Window	2

A Custom House for:
Spec House
 102 Thistle Place
 Lot 24, Block A
 Chandlers Landing #7
 City of Rockwall, Texas

FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

REVISIONS:

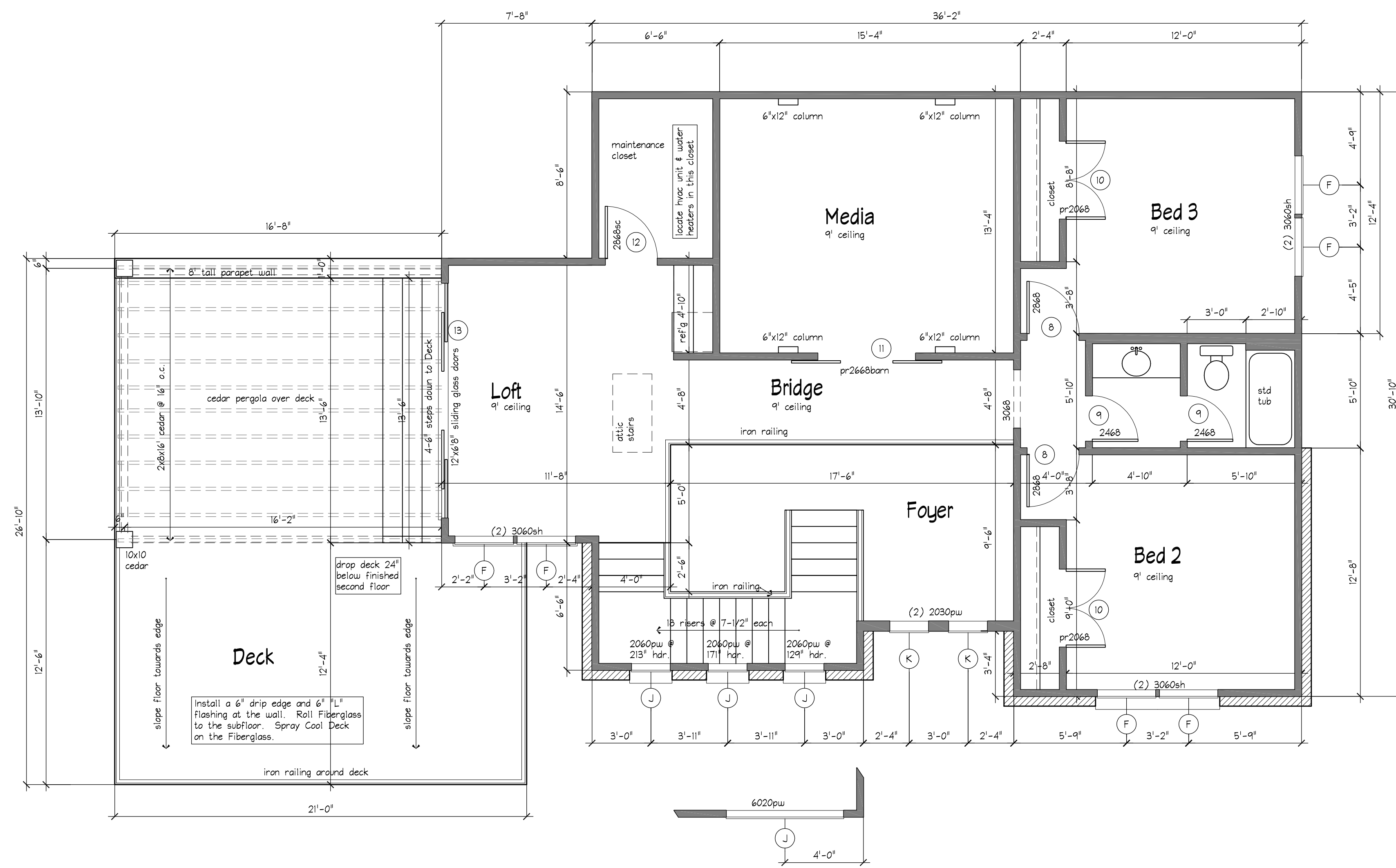
8/3/2020
8/11/2020
9/2/2020

J. Karlovich
 Home Design
 (214) 674-0290 : Phone
 jkarlovichhomedesign.com

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Coastal Plains Estates
 (618) 218-5339

A Custom House for:
Spec House
 102 Thistle Place
 Lot 24, Block A
 Chandlers Landing #7
 City of Rockwall, Texas



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISIONS:

- 8/3/2020
- 8/11/2020
- 9/2/2020

J. Karlovich
Home Design

(214) 674-0290 : Phone
jkarlovichhomedesign.com

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Coastal Plains Estates
(618) 218-5339

A Custom House for :

Spec House
102 Thistle Place
Lot 24, Block A
Chandler's Landing #7
City of Rockwall, Texas

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
102 Thistle Place	<i>RCAD Indicates Vacant</i>		<i>Subject Property</i>		N/A
103 Thistle Place	<i>Single-Family Home</i>	1994	2,356	N/A	Brick
104 Thistle Place	<i>Single-Family Home</i>	2018	4,949	N/A	Brick
105 Thistle Place	<i>Single-Family Home</i>	1984	2,567	N/A	Brick
202 Gretel Place	<i>Single-Family Home</i>	1986	3,014	N/A	Brick
204 Gretel Place	<i>Single-Family Home</i>	1988	2,686	N/A	Brick
206 Gretel Place	<i>Single-Family Home</i>	1988	3,920	N/A	Brick
208 Gretel Place	<i>Single-Family Home</i>	1989	3,163	N/A	Brick
6002 Volunteer Place	<i>Single-Family Home</i>	1982	3,233	N/A	Brick
6003 Volunteer Place	<i>Single-Family Home</i>	1979	2,498	N/A	Brick
6004 Volunteer Place	<i>Single-Family Home</i>	1995	2,171	N/A	Brick
6005 Volunteer Place	<i>Single-Family Home</i>	1987	2,422	N/A	Brick
6007 Volunteer Place	<i>Single-Family Home</i>	1989	2,684	N/A	Brick
6101 Volunteer Place	<i>Single-Family Home</i>	1985	2,488	N/A	Brick
6102 Volunteer Place	<i>Single-Family Home</i>	1983	2,719	N/A	Brick
6103 Volunteer Place	<i>Single-Family Home</i>	1988	1,586	N/A	Brick
6105 Volunteer Place	<i>Single-Family Home</i>	1994	1,931	N/A	Brick
6106 Volunteer Place	<i>Single-Family Home</i>	2012	3,605	N/A	Brick
6108 Volunteer Place	<i>Single-Family Home</i>	1982	2,696	N/A	Brick
6109 Volunteer Place	<i>Single-Family Home</i>	1985	2,779	N/A	Brick
6110 Volunteer Place	<i>Single-Family Home</i>	1982	3,113	N/A	Brick
6111 Volunteer Place	<i>Single-Family Home</i>	1986	3,322	N/A	Brick
6112 Volunteer Place	<i>Single-Family Home</i>	2002	3,141	N/A	Brick
Averages:		1990	2,866		



102 Thistle Place



103 Thistle Place



104 Thistle Place



105 Thistle Place



202 Gretel Place



204 Gretel Place



206 Gretel Place



208 Gretel Place



6002 Volunteer Place



6003 Volunteer Place



6004 Volunteer Place



6005 Volunteer Place



6007 Volunteer Place



6101 Volunteer Place



6102 Volunteer Place



6103 Volunteer Place



6105 Volunteer Place



6106 Volunteer Place



6108 Volunteer Place



6109 Volunteer Place



6110 Volunteer Place



6111 Volunteer Place



6112 Volunteer Place

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.21-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK A, CHANDLER'S LANDING, PHASE 7, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.21-acre parcel of land being described as Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 102 Thistle Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

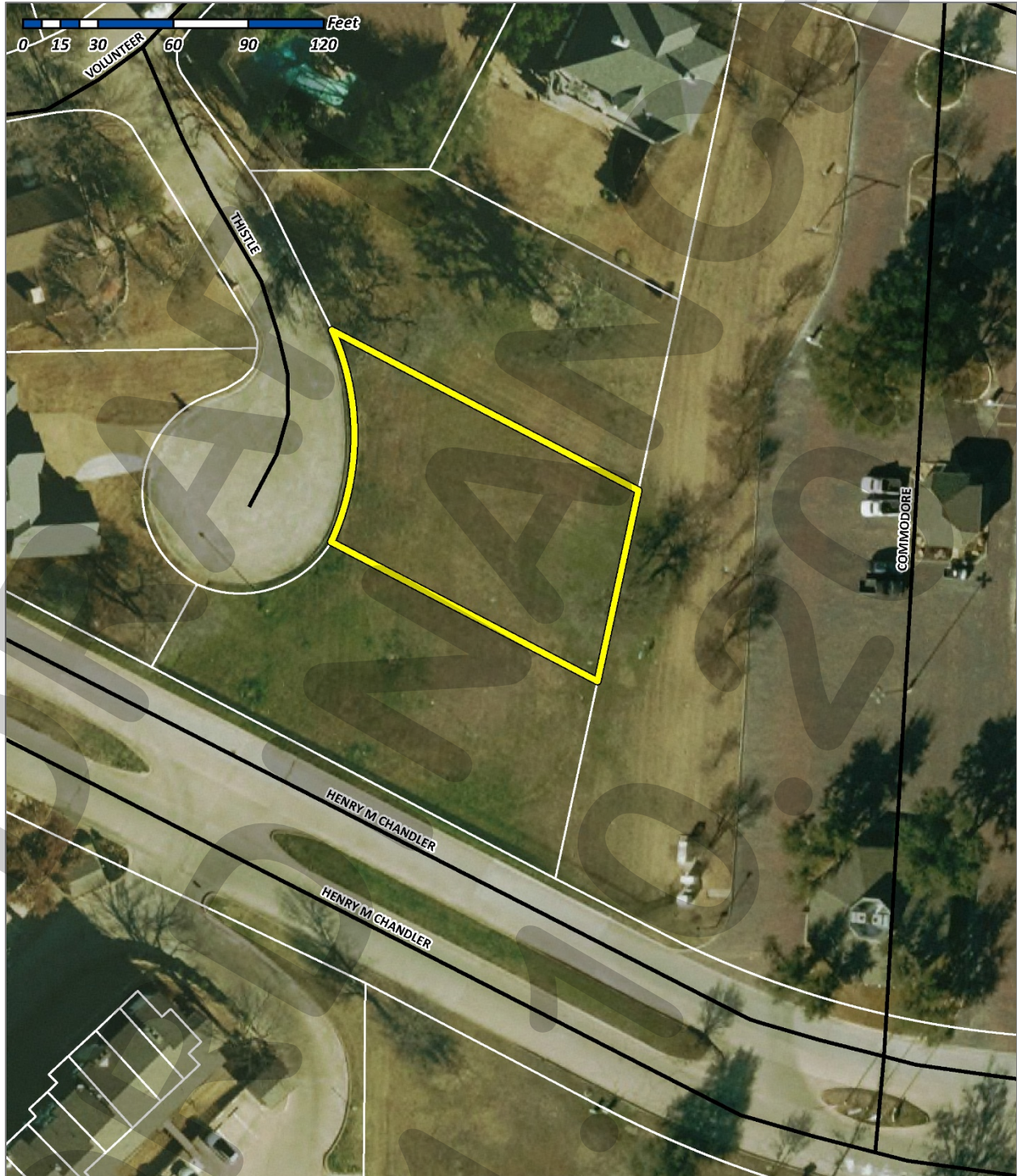
1st Reading: November 16, 2020

2nd Reading: December 7, 2020

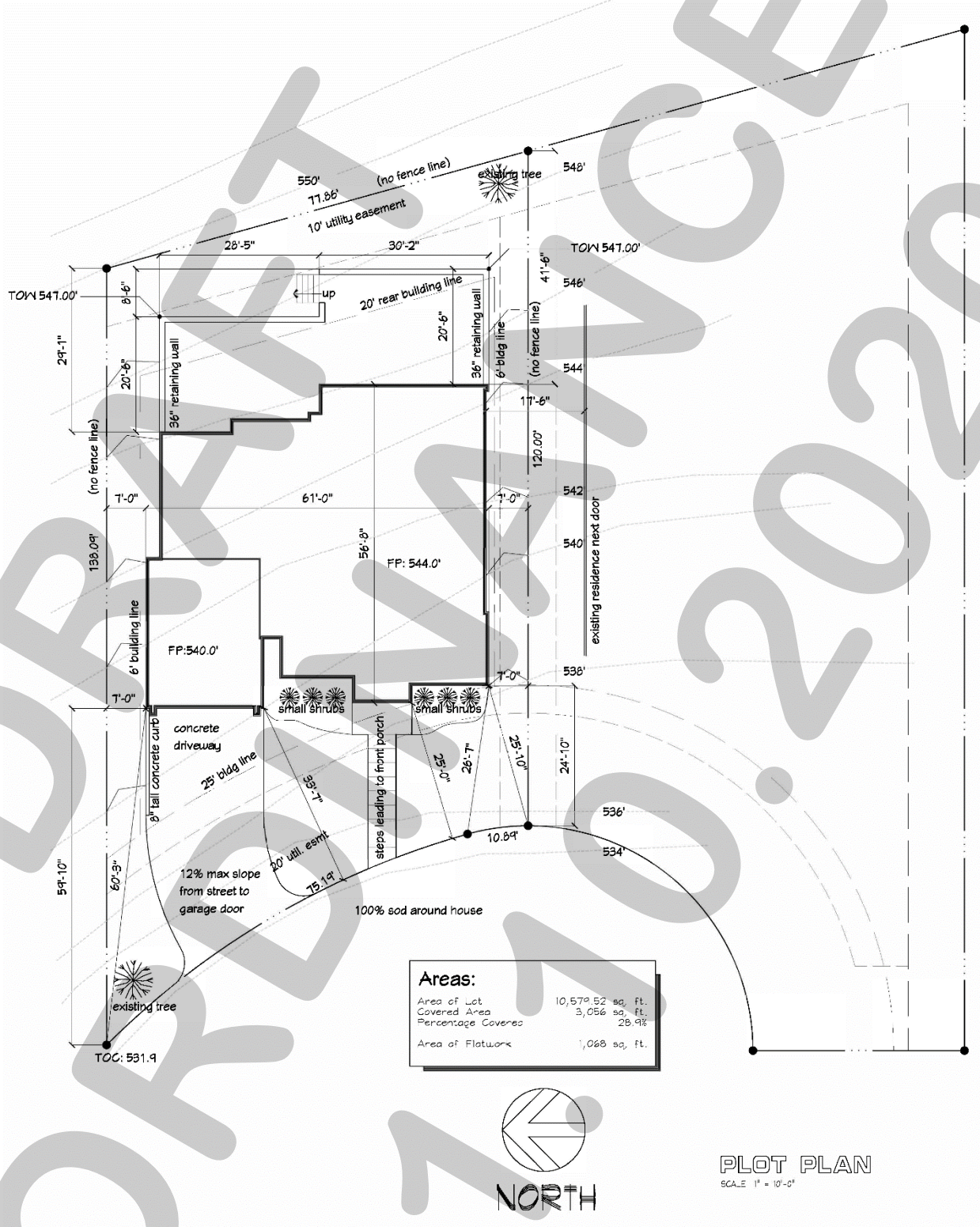
Exhibit 'A'
Location Map and Survey

Address: 102 Thistle Place

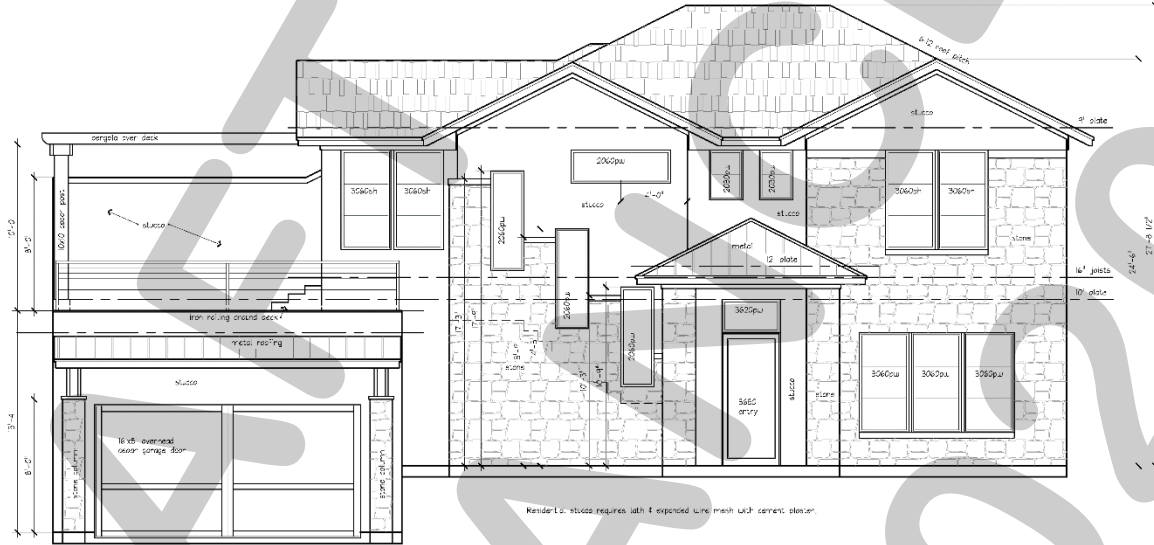
Legal Description: Lot 24, Block A, Chandler's Landing, Phase 7



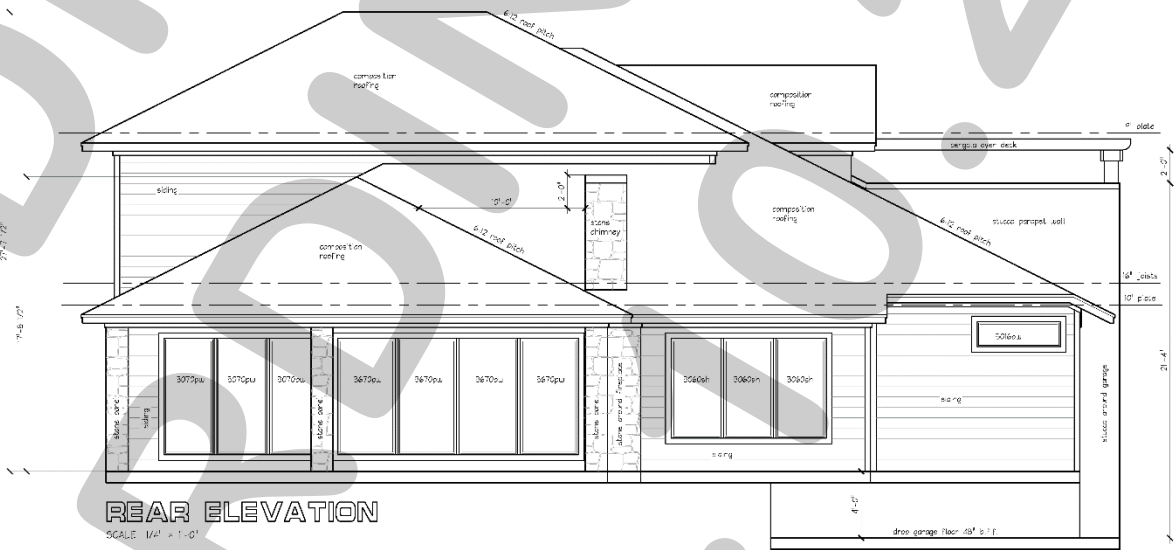
**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**

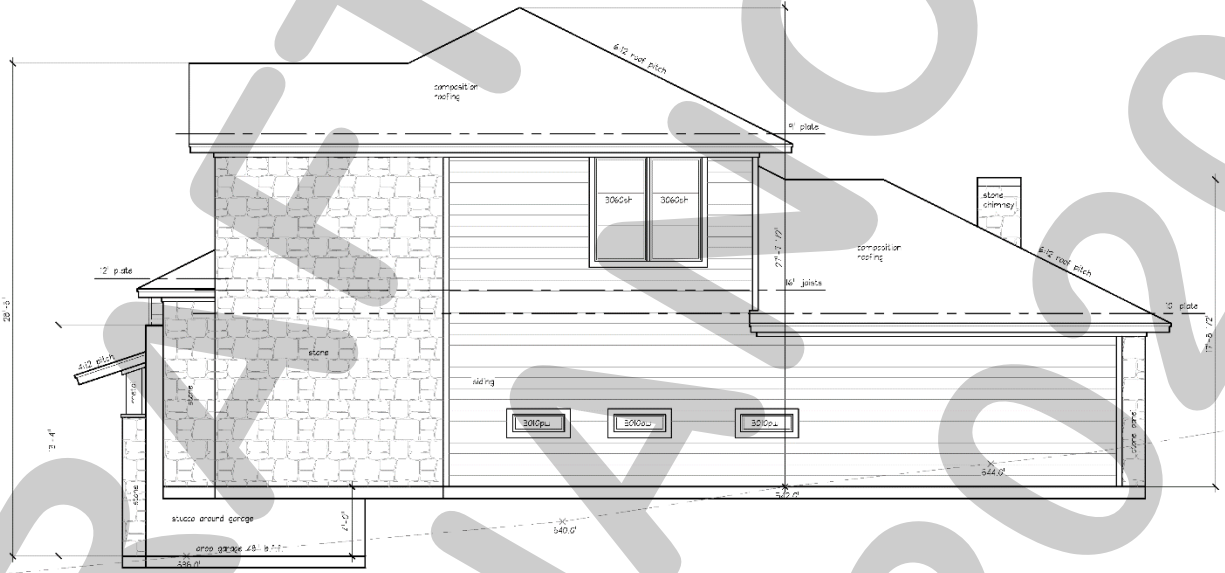


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

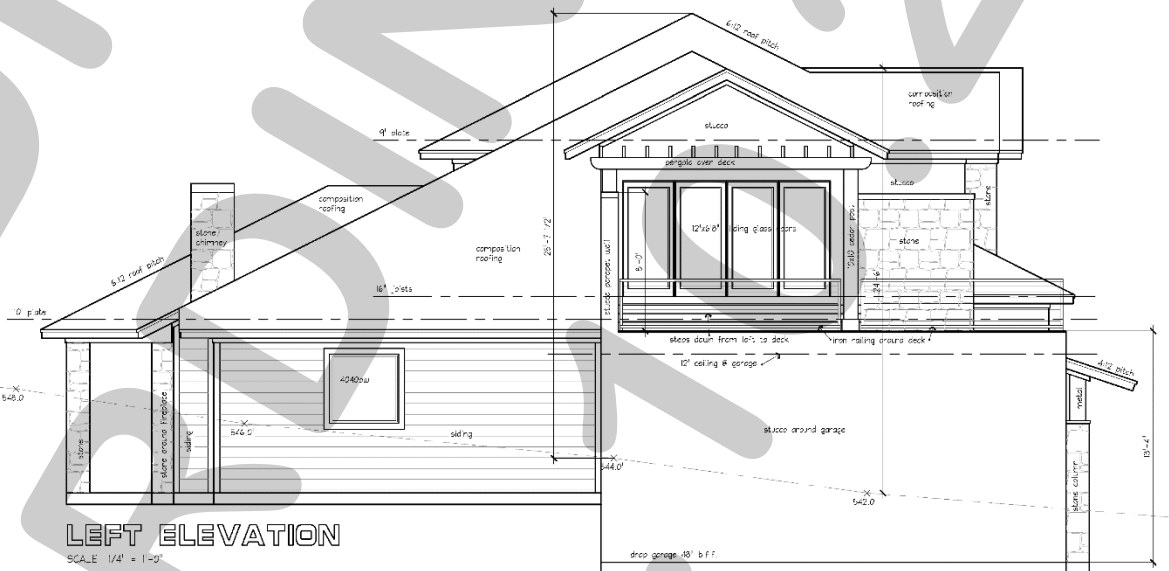


REAR ELEVATION
SCALE: 1/4" = 1'-0"

**Exhibit 'C':
Building Elevations**



RIGHT ELEVATION
SCA. E 1/4" = 1'-0"



LEFT ELEVATION
SCA. E 1/4" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Ryan Joyce; *Michael Joyce Properties, LLC*
CASE NUMBER: Z2020-045; *Zoning Change (NS & SF-16 to PD) for Nelson Lake Estates*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 4, 2005, the City Council approved *Ordinance No. 05-16 [Case No. Z2005-007]* changing the zoning of the subject property from an Agricultural (AG) District to a Neighborhood Services (NS) District and a Single-Family 16 (SF-16) District. The concept plan included with *Ordinance No. 05-16* showed that the subject property would include 104.8-acres of land zoned Single-Family 16 (SF-16) District with the remainder of the subject property (*i.e. 16.36-acres*) being designated for Neighborhood Service (NS) District land uses. The residential portion of the concept plan also showed the provision of 106 single-family residential lots, and that ~56.00-acres of the 104.8-acres designated for residential land uses would be dedicated for open space. The overall proposed density of this development was 1.07 dwelling units per acre. Despite this plan being adopted by the City Council, the subject property has remained vacant since its annexation into the City.

PURPOSE

On October 16, 2020, the applicant -- *Ryan Joyce of Michael Joyce Properties, LLC* -- submitted an application requesting to change the zoning of the subject property from a Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 264-lot single-family, residential subdivision that will incorporate lots that are 60' x 120' (*i.e. a minimum of 7,000 SF*) and 70' x 120' (*i.e. a minimum of 8,400 SF*).

ADJACENT LAND USES AND ACCESS

The subject property is located at southeast corner of the intersection of FM-1141 and FM-552. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-552, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a 47.31-acre portion of a larger 56.31-acre tract of land (*i.e. Tract 3 of the M. Simmons Survey, Abstract No. 194*), which is zoned Agricultural (AG) District. Currently situated on this property are two (2) agricultural accessory structures. Beyond this property is the corporate limits of the City of Rockwall.

South: Directly south of the subject property is North Country Lane, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare are two (2) tracts of land (*i.e. Tract 14 of the J. M. Gass Survey*), which are zoned Agricultural (AG) District. The 48.267-acre tract of land is owned by the City of Rockwall, is currently vacant (*with the exception of the North Country Lane Water Tower*), and is the future site for the *Alma Williams Park*. The other tract of land is a 101.43-acre tract of land that currently has a 660 SF single-family home and multiple agricultural accessory structures situated on it.

East: Directly east of the subject property are the corporate limits of the City of Rockwall. Beyond this are residential properties that are situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is an Elementary School (*i.e. Celia Hays Elementary School*) on a 11.036-acre parcel of land (*i.e. Lot 5, Block C, Dalton Ranch, Phase 2 Addition*) that is owned by the Rockwall Independent School District (RISD). Also, adjacent to the subject property is Phase 1 of the Dalton Ranch Subdivision, which consists of 151 single-family residential lots on 62.33-acres. This subdivision is zoned Planned Development District 58 (PD-58) for Single-Family 10 (SF-10) District land uses. Beyond this is the Stoney Hollow Subdivision, which consists of 96 single-family residential lots on 41.88-acres. This subdivision is zoned Single-Family 16 (SF-16) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 121.16-acre subject property will consist of 265 single-family residential lots that will be broken down into two (2) lot types (*i.e. 60' x 120' and 70' x 120'*). More specifically, the development will incorporate 193, 60' x 120' (*i.e. a minimum of 7,200 SF*) lots and 72, 70' x 120' (*i.e. a minimum of 8,400 SF*) lots, and have a density of 2.19 dwelling units per acre for the total development. The minimum dwelling unit size (*i.e. air-condition space*) will range from 2,000 SF to 2,200 SF. According to the applicant, the proposed housing product will be similar to the product that was constructed in *Phases IIA & IIB of the Breezy Hill Subdivision (i.e. the Type 'A', 60' x 120' and Type 'B', 70' x 120' lot products from Planned Development District 74 [PD-74])* [see example in Figure 1]; however, in addition to the *J-Swing or Traditional Swing* driveway configuration the applicant will be requesting 35% of the homes (*i.e. 40% of the Type 'A' Lots and 20% of the Type 'B' Lots*) be allowed to be constructed with *Flat Front Entry* garages. The proposed housing product will incorporate a minimum masonry requirement of 90% (*with a minimum of 85% on each façade*), and be subject to the upgraded anti-monotony requirements that were adopted by the City Council in September of 2019. The proposed Planned Development District will also be subject to the land uses and requirements stipulated for the Single-Family 10 (SF-10) District unless specifically called out in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:



FIGURE 1: EXAMPLE HOUSING PRODUCT FROM BREEZY HILL, PHASE IIA

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,000 SF	193	72.83%
B	70' x 120'	8,400 SF	72	27.16%
<i>Maximum Permitted Units:</i>			265	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►	
	A	B
<i>Minimum Lot Width (1)</i>	60'	70'
<i>Minimum Lot Depth</i>	120'	120'

Minimum Lot Area	7,000 SF	8,400 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	20'	20'
Minimum Length of Driveway Pavement	20'	20'
Maximum Height ⁽³⁾	36'	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,000 SF	2,200 SF
Maximum Lot Coverage	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: Flat front entry garage configurations are permitted on up to 35% (*i.e. a maximum of 92 lots*) of the total number of lots provided that: [1] no more than 40% (*i.e. a maximum of 78 lots*) of the lots for Lot Type 'A' have a flat front entry garage, [2] no more than 20% (*i.e. a maximum of 14 lots*) of the Lot Type 'B' have a flat front entry garage, and [3] the front yard building setback for all lots with a flat front entry garage is increased to a minimum of 25-feet.

With regard to the proposed amenities, the concept plan provided by the applicant shows that the proposed development will provide [1] ~51.77-acres of open space (*18.62-acres will be outside of the floodplain -- after reclamation -- and the development will be credited with 35.195-acres of open space [i.e. 33.15-acres x ½ = 16.575-acres + 18.62-acres = 35.195-acres]*), [2] a one (1) acre amenity center, and [3] a trail system. The open space required for this development is 24.232-acres, and the applicant is exceeding this by 10.963-acres (*or 9.05%*). The proposed trail system will be constructed along the edge of the floodplain running north and south, and utilize the required sidewalks along FM-552 and FM-1141 to create a loop. In addition, pedestrian paths connecting the north side of the development to the amenities center via a trail will also be incorporated.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. The applicant shall verify the right-of-way width of FM-1141 and ensure there is 85-feet of right-of-way, and dedicate any area that is within 42.50-feet of the centerline of the roadway. The applicant will also need to verify the current right-of-way width of North Country Lane, and dedicate any area within 32.50-feet of the centerline of the roadway. The applicant shall also verify the right-of-way along FM-552, which currently has approved construction plans per the Texas Department of Transportation (TXDOT).
- (2) Water. The applicant shall be required to construct an eight (8) inch looped water line through the site. In addition, the applicant must install a 12-inch water line along FM-552 and FM-1141 per the Master Water Plan.
- (3) Wastewater. The applicant shall install the required eight (8) inch sewer line through the subject property and connect it to the 15-inch sanitary sewer line that is currently located on the westside of FM-1141. In addition -- *and in accordance with the Master Wastewater Plan --*, a 20-foot sewer line easement with a 30-foot temporary construction easement shall be dedicated along Nelson Creek. The applicant will be required to perform an infrastructure study to determine there is capacity in the Stoney Hollow lift station basin and -- *if so --* what appurtenances will be required to be upgraded or

constructed with the proposed development. The applicant will also be required to pay the required pro-rata on the existing Stoney Hollow basin infrastructure.

- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing pond, and receive written permission from the Natural Resources Conservation Service (NRCS) regarding any encroachment or construction around Nelson Lake.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. The Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing* [or *traditional swing*] garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 65% *J-Swing* or *Traditional Swing* and 35% *Flat Front Entry* (i.e. where the garage is even with the front façade). This translates to 40% of the *Type 'A' Lots* (i.e. 60' x 120' lots) and 20% of the *Type 'B' Lots* (i.e. 70' x 120' lots) being in *Flat Front Entry* garage configuration. As a compensatory measure the applicant is proposing to increase the front yard building setback from 20-feet to 25-feet for homes that have a *Flat Front Entry* garage configuration. The applicant is also proposing to provide decorative wood garage doors or garage doors that incorporate a wood overlay on an insulated metal door. All garage doors will also incorporate carriage style hardware. In addition, the applicant will also have the ability to provide *Recessed Front Entry* (i.e. where the front of the garage is setback a minimum of 20-feet from the front façade of the house).

- (3) Landscape Buffers. According to Subsection 02.01, *General Standards for Planned Development Districts*, of Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(a) minimum of a 30-foot landscape buffer shall be provided adjacent to all perimeter roadways (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage."

Applicant's Response to (3): In this case, the proposed Planned Development District ordinance adheres to this requirement along both FM-552 and FM-1141; however, along North Country Lane the applicant is proposing a ten (10) foot landscape buffer with four (4) inch caliper evergreen trees being planted on 15-foot centers adjacent to where homes will back to the roadway. Staff should point out that the applicant has incorporated language that will allow the Planning and Zoning Commission the ability to review an alternative screening plan making use of the existing trees at the time of PD Site Plan; however, any changes from the stated requirement is a discretionary approval for the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Northeast Residential District* and is designated for *Commercial/Retail* and *Low Density Residential* land uses on the Future Land Use Plan. The applicant's request will necessitate that the portion of the subject property that is designated for *Commercial/Retail* land uses be changed to *Low Density Residential* land uses on the Future Land Use Plan. This change is discretionary to the City Council; however, staff should point out that this change will bring the land use ratios closer to the desired 80% residential/ 20% commercial land uses called for by the Comprehensive Plan [*Goal 01, Policy 1; Section 02.01 of Chapter 1*]. Specifically, the proposed zoning change will shift the residential/commercial ratio from 75.92%/24.08% to

76.24%/23.76%. Should the City Council choose to approve this request staff has added a condition of approval that would make the necessary change to the Future Land Use Map.

According to the Comprehensive Plan, Low Density Residential land uses are defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In addition, the Comprehensive Plan defines amenity as, "... developments that provide some of the following: [1] open space beyond the required 20%, [2] a golf course and/or other comparable recreation facilities, [3] amenity/recreation facilities, [4] school site integration, [5] dedication or development of park land beyond the required park land dedication, [6] additional development of trails, [7] other amenities deemed appropriate by the City Council." In this case, the applicant is requesting a 2.18 dwelling units per gross acre (2.20 dwelling units per gross acre in the Planned Development District ordinance), and is proposing to construct [1] an amenity center, [2] open space in excess of 20% (i.e. 24.232-acres of open space), and [3] a trail system. The proposed amenities do appear to justify the requested density; however, density under any Planned Development District request is a discretionary decision for the City Council.

In addition to the changes to the Future Land Use Map and density justification, staff has also identified the following non-conformities to the Comprehensive Plan and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Sec. 02.03 | Goal 1; Policy 2: To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: The houses at the end of each block face should be turned to front onto the open space areas as opposed to siding to them as currently depicted. The applicant has chosen not to incorporate this into the Planned Development District ordinance.

- (2) CH. 08 | Sec. 02.03 | Goal 1; Policy 5: Design neighborhoods utilizing the Housing Tree Model (a method of laying of single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision).

Staff Response: The concept plan should be rearranged so that larger lots (i.e. 70' x 120' lots) are adjacent to the major roadways (i.e. FM-552, FM-1141, and North Country Lane). This will reduce the number of lots backing to these roadways and bring the plan into conformance with the Housing Tree Model. Additionally, a larger lot product (e.g. 80' x 120' lots) could be incorporated to bring the concept plan into closer compliance with the Comprehensive Plan. The applicant has incorporated the Housing Tree Model into the concept plan, but has chosen not to incorporate an additional larger lot product.

- (3) CH. 08 | Sec. 02.03 | Goal 3; Policy 4: Require a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (i.e. six [6] foot side yard building setback) and should be scaled to the height of the home.

Staff Response: Increase the side yard setbacks to six (6) feet on both lot types to create a greater separation between structures. The applicant has chosen not to incorporate this into the Planned Development District ordinance.

- (4) CH. 08 | Sec. 02.02 | Goal 3; Policy 4: All parks and open space should provide an integrated trail system that serves the adjacent neighborhood areas.

Staff Response: Provide a trail system that connects to the sidewalks along FM-552 and North Country Lane, and that runs through the open space area adjacent to Nelson Lake. The applicant has incorporated this recommendation into the proposed Planned Development District ordinance.

- (5) CH. 08 / Sec. 02.03 / Goal 3: Policy 3: In cases where flat front entry garages (*i.e. even with the front façade of the primary structure*) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If a *Flat Front Entry Garage* configuration is being requested it should be limited to 20% and the front building setback of these properties should be increased to 25-feet. *The applicant has chosen to request 35% Flat Front Entry Garages, but has consented to upgraded garage door requirements and a minimum of a 25-foot front yard building setbacks on all Flat Front Entry Garages.*

Taking all of this into account, the concept plan does maintain general conformance to the residential policies and guidelines contained in the OURHometown Vision 2040 Comprehensive Plan; however, the approval of the applicant's request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 17, 2020, staff mailed 37 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Dalton Ranch Homeowner's Association (HOA), which is the only HOA or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) email in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance;
- (2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of portions of the subject property from Commercial/Retail and Low Density Residential designation to a Low Density Residential designation; and,
- (3) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2020-045

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1447 FM 1141, Rockwall, TX 75087

Subdivision J. M. Glass Survey

Lot N/A

Block N/A

General Location Southeast corner of FM 552 and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning NS and SF-16

Current Use AG

Proposed Zoning PD - SF - 7

Proposed Use Residential subdivision

Acreage 121.16

Lots [Current] 109

Lots [Proposed] 264

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Unison Investment, a California LP

Applicant Michael Joyce Properties, LLC

Contact Person JEN-LIANG WU, General Partner

Contact Person Ryan Joyce

Address 23545 Crenshaw Blvd

Address 1189 Waters Edge Dr

Ste 201

City, State & Zip Torrance, CA 90505

City, State & Zip Rockwall, TX 75087

Phone 310-325-0300

Phone 512-965-6280

E-Mail Uniiinv@aol.com

E-Mail Ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jen-Liang Wu [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

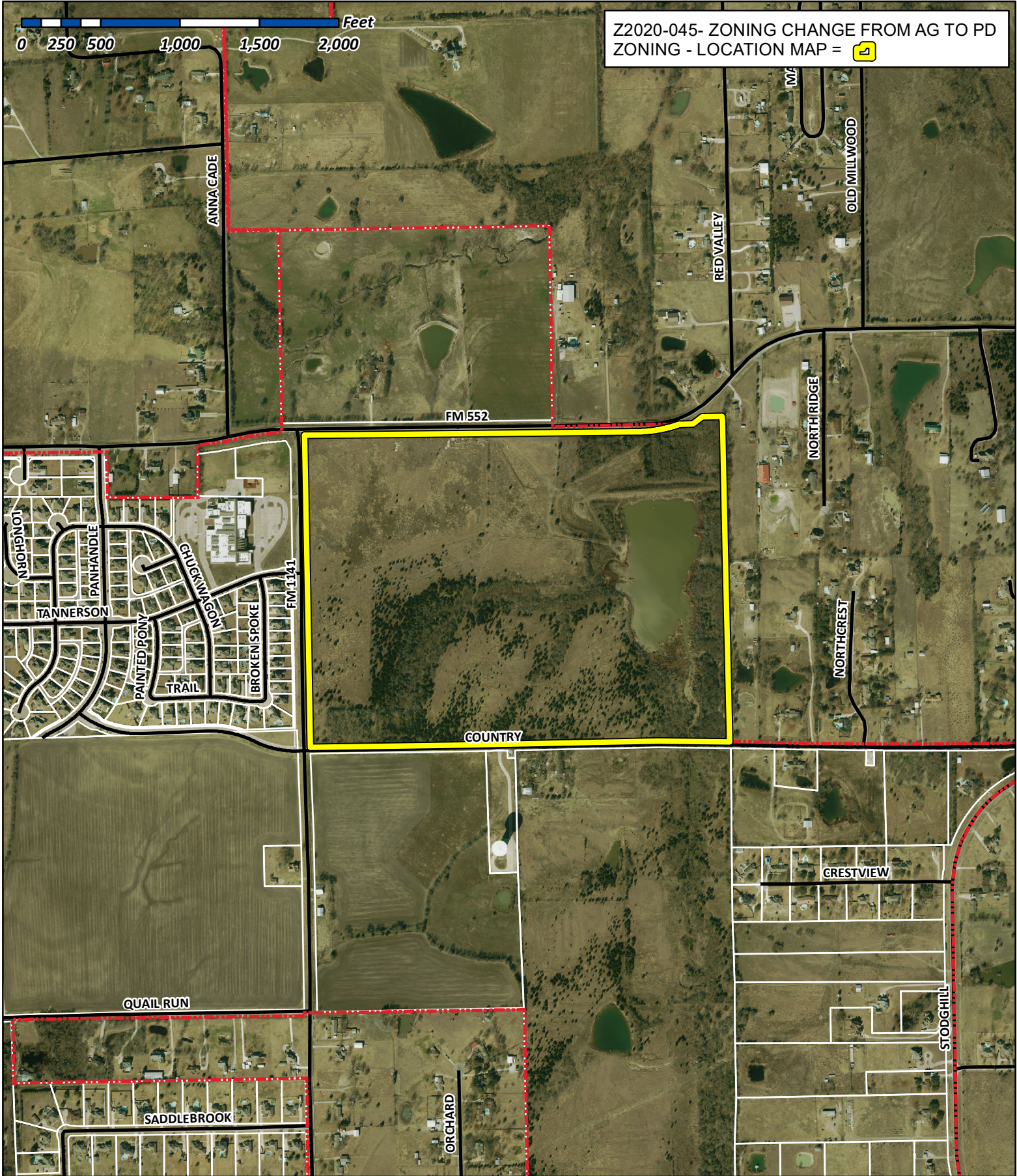
Given under my hand and seal of office on this the 14 day of October, 20 20.

Owner's Signature

Notary Public in and for the State of California



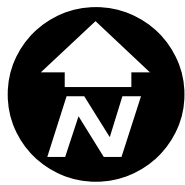
My Commission Expires sep. 23, 2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

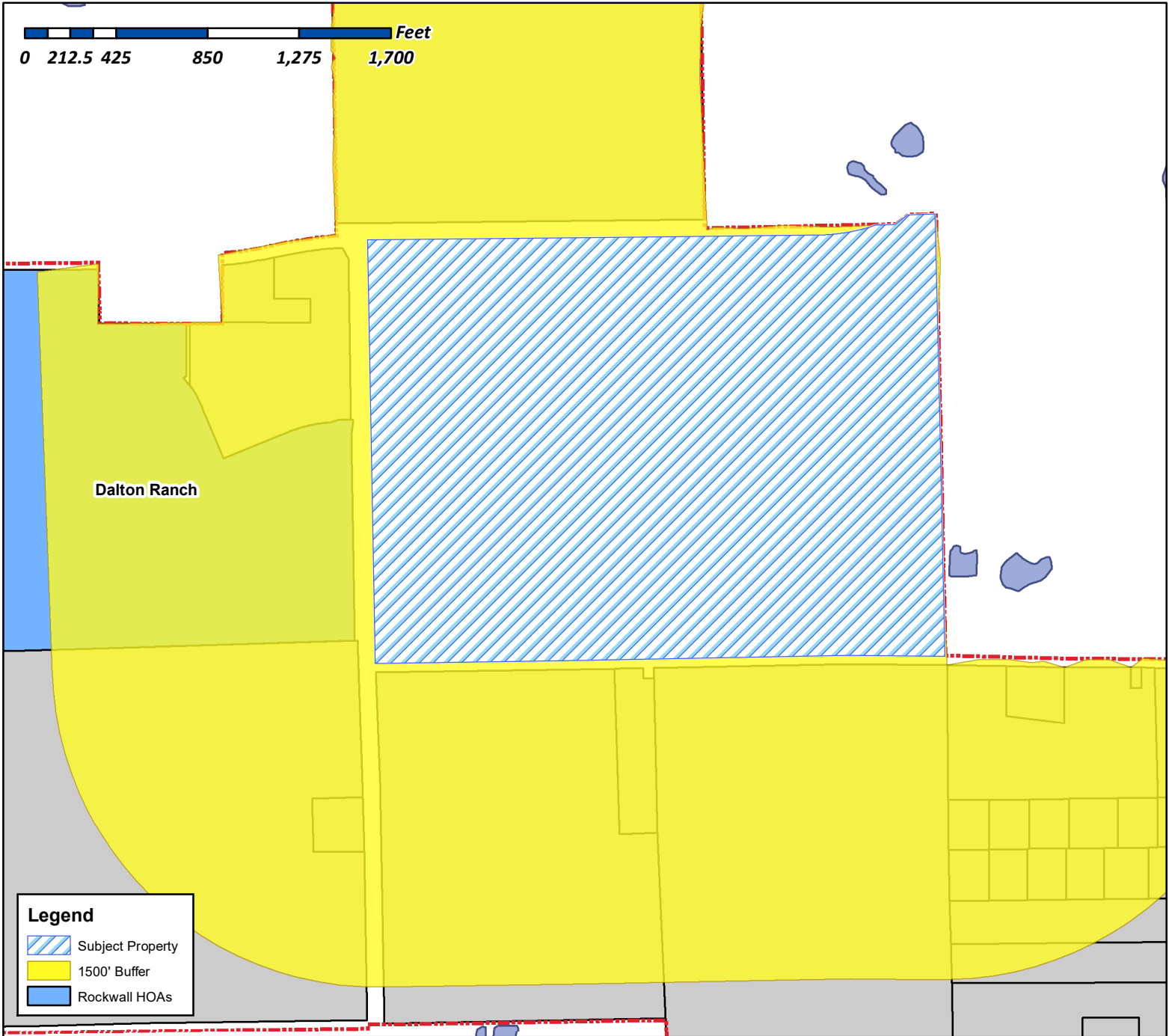
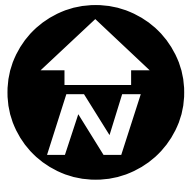




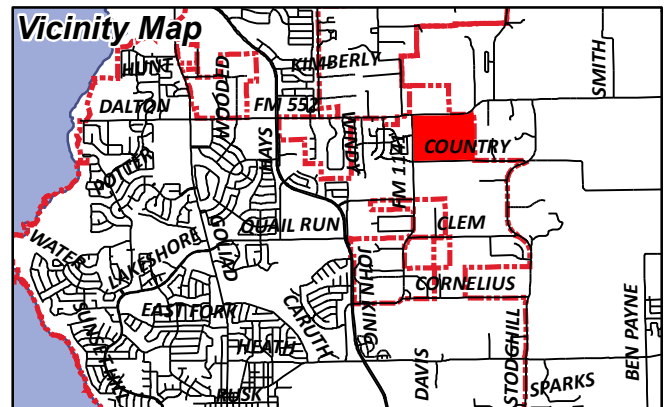
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-045
Case Name: Zoning Change AG to PD
Case Type: Zoning
Zoning: NS & SF-16
Case Address: SEC of FM 552 and FM 1141



Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-045.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-045 Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a *Zoning Change* from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

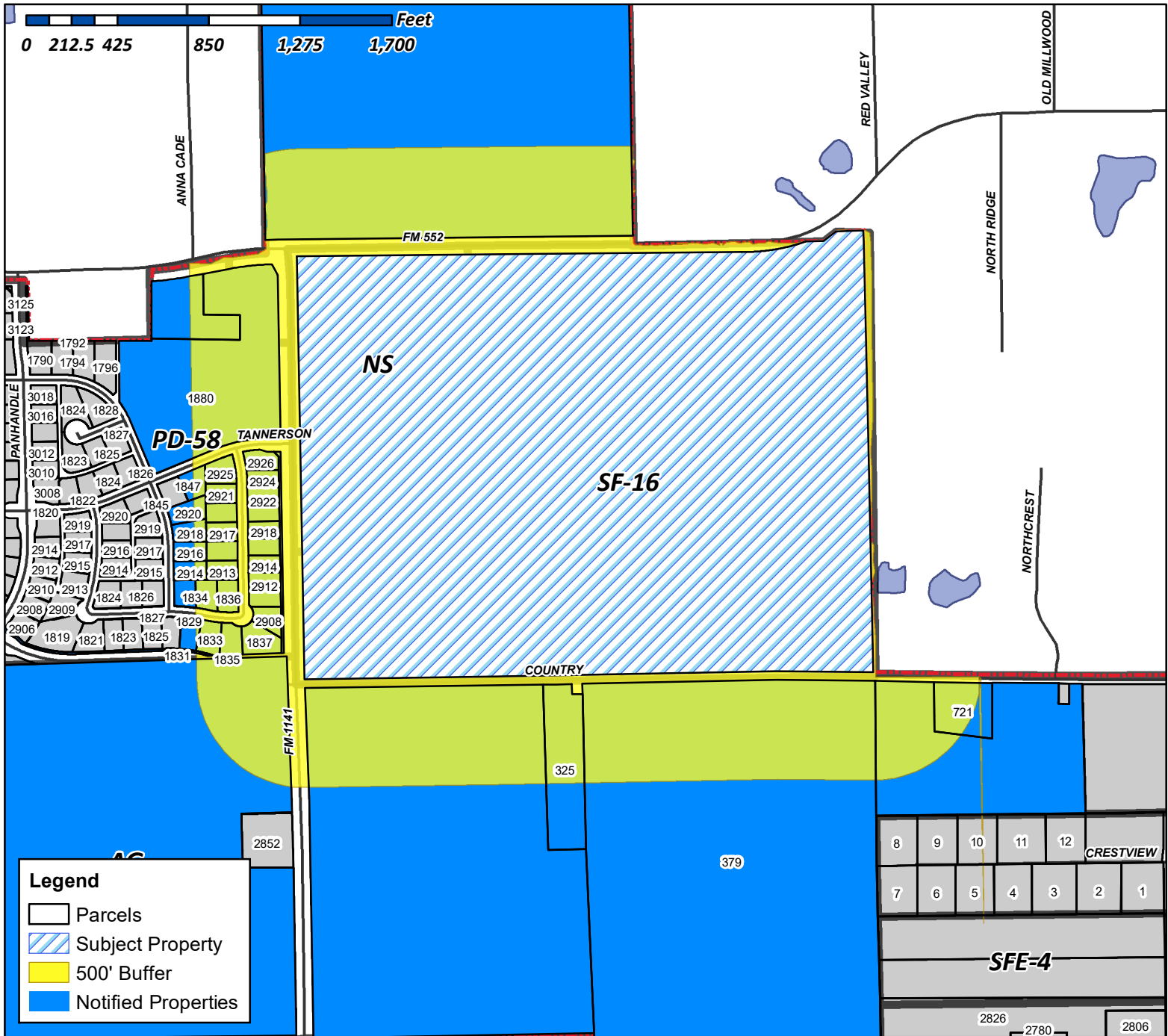
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

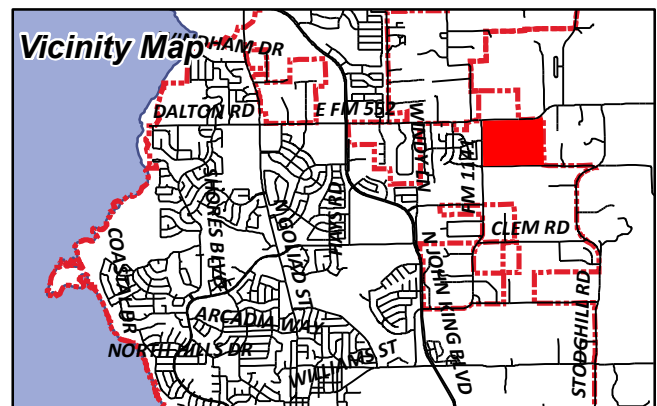
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Case Number: Z2020-045
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: NS & SF-16
Case Address: SEC of FM 552 and FM 1141

Date Created: 10/19/2020

For Questions on this Case Call (972) 771-7745



WEIR JAMES B & CRYSTAL
1831 TRAIL DR
ROCKWALL, TX 75087

OLIVER MICHAEL
1832 TRAIL DRIVE
ROCKWALL, TX 75087

MILLER ANGELA KAY & JOHN RAY
1833 TRAIL DRIVE
ROCKWALL, TX 75087

FOSTER BRIAN AND DEIDRE
1834 TRAIL DRIVE
ROCKWALL, TX 75087

ALLEN JAMES JR & BARBARA A
1835 TRAIL DRIVE
ROCKWALL, TX 75087

SANTOSO HARDJO AND
SENDYTIAWATI KURNIAWAN
1836 TRAIL DR
ROCKWALL, TX 75087

REAMSBOTTOM DELAYNE
1837 TRAIL DRIVE
ROCKWALL, TX 75087

STOVALL KEVIN
1847 TANNERSON DRIVE
ROCKWALL, TX 75087

ROCKWALL I S D
1880 TANNERSON
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

UNISON INVESTMENT
23545 CRENSHAW BLVD STE 201
TORRANCE, CA 90505

EIDT WILLIAM H AND
MARGARET E SHEEHAN/JOHN EIDT
2728 MCKINNON ST APT 1902
DALLAS, TX 75201

KIM BUNNA
2908 BROKEN SPOKE LN
ROCKWALL, TX 75087

LIPSEY RANDALL L AND KAREN M
2910 BROKEN SPOKE LN
ROCKWALL, TX 75087

RODRIQUEZ MONICA CANO & ISRAEL A JR
2912 BROKEN SPOKE LANE
ROCKWALL, TX 75087

FRANCIS SHELBY & KRISTI
2913 BROKEN SPOKE LANE
ROCKWALL, TX 75087

KOZLOWSKI BRIAN STEPHEN & JULIE
2914 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2914 CHUCK WAGON DR
ROCKWALL, TX 75087

MARTIN JEFFREY MICHAEL & ELIZABETH DIANE
2915 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CURRY JOANNA & SHAWN
2916 BROKEN SPOKE LN
ROCKWALL, TX 75087

LOGWOOD DANA CELESTE
2916 CHUCK WAGON DR
ROCKWALL, TX 75087

DE MASELLIS ADAM CLAUDE & STEPHANIE
DENISE
2917 BROKEN SPOKE LANE
ROCKWALL, TX 75087

2018 S M TAYLOR REVOCABLE TRUST
STEVEN EUGENE TAYLOR AND MICHELLE DIANE
TAYLOR- TRUSTEES
2918 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DORROUGH JEFFREY
2918 CHUCK WAGON DR
ROCKWALL, TX 75087

GAY VINCENT NEIL AND KERRI L
2919 BROKEN SPOKE LN
ROCKWALL, TX 75087

SANTIAGO ABE D AND ROCIO D SIMENTAL
2920 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BOYD JOEY D
2920 CHUCK WAGON DR
ROCKWALL, TX 75087

RANNIGAN MICHAEL R & RACHELLE LE ANN
2921 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DENNISON BOBBY & RAMONA
2922 BROKEN SPOKE LN
ROCKWALL, TX 75087

JONAS CHAD & JOANA
2924 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BUNCH LLOYD M & LINDA G
2925 BROKEN SPOKE LANE
ROCKWALL, TX 75087

QUINTERO JORGE & DELILAH
2926 BROKEN SPOKE LANE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
379 N COUNTRYLN
ROCKWALL, TX 75087

DALTON RANCH OWNERS ASSOC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-045: Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-045: Zoning Change from SF-16 & NS to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Terry Gregory <terry-gregory@charter.net>
Sent: Monday, November 2, 2020 3:07 PM
To: Planning
Subject: Case No. Z2020-045

Dear Mr. Milller,

I am writing in opposition to the proposed zoning change from SF-16 & NS to PD.

The stated size of the proposed lots does not fit into the surrounding neighborhoods and would devalue current property owners. I am in the Stoney Hollow Estates neighborhood within a short distance of the proposed development. Lots in my area are as large as 1 acre and my own lot size is 18,000 sq ft within a planned development. I have witnessed this type of development in the city we moved from (another Dallas suburb) 15 years ago and watched as the infrastructure collapsed under the additional traffic.

The surrounding infrastructure, including FM 552 and FM 1141 are already under stress at certain times of the day. The proposed density would add further traffic to this area. The proposed RISD school site near this proposed development should be considered as well.

I would request that you hold to the current zoning and keep Rockwall one of the few cities to hold the line on development of this type.

Thank you for your consideration.

Regards,

Terry Gregory
3047 Stoney Hollow Lane
Rockwall, TX 75087

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October 16, 2020

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

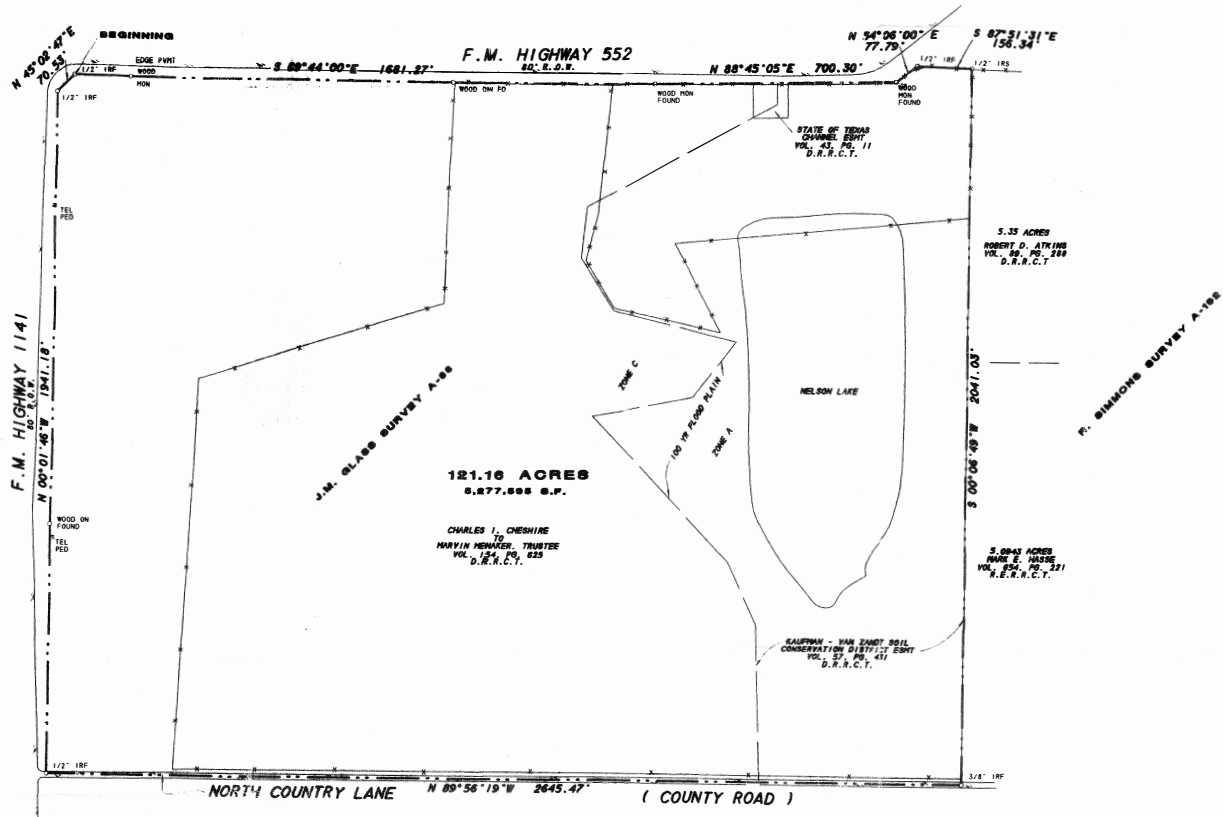
Michael Joyce Properties, LLC is requesting that our project be taken to the November 10th, 2020 Planning and Zoning Meeting. This project is the development of 121.16 Acres in the J.M. Glass Survey, Tract 2 Abstract 88, City of Rockwall, Rockwall County, located at the Southeast corner of F.M. 552 and F.M. 1141.

The property is currently zoned NS and SF – 16. We are proposing a development of Single-Family Residential homes on 7,000 - 8,400 square foot lots. This community will provide for a greater variety of housing that the market demands and will still reflect the beautiful aesthetic of the surrounding communities like Stone Creek and Breezy Hill, and the City of Rockwall as a whole.

We look forward to working with the City once again to develop another gorgeous development.

Cordially Yours,

Ryan Joyce



DESCRIPTION

All that certain lot, tract or parcel of land situated in the J.M. GLASS SURVEY, ABSTRACT NO. 88, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Charles J. Cheshire to Marvin Menaker, Trustee, dated April 23, 1980, and being recorded in Volume 154, Page 625 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the East cut back corner at the intersection of the East right-of-way line of F.M. Highway 552 (80' R.O.W.) with the South right-of-way line of F.M. Highway 552 (80' R.O.W.);

THENCE along the South right-of-way line of said F.M. Highway 552 the following:

- S. 89 deg. 44 min. 00 sec. E. (Controlling bearing) a distance of 1681.27 feet to a 1/2" iron rod found for corner;
- N. 88 deg. 45 min. 05 sec. E. a distance of 700.30 feet to a tack found in wood monument for corner;
- N. 54 deg. 08 min. 00 sec. E. a distance of 77.79 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 51 min. 31 sec. E. leaving the South line of said F.M. Highway 552, a distance of 196.34 feet to a 1/2" iron rod set for corner at the base of a fence corner post for corner at the Northeast corner of said Menaker tract;

THENCE S. 00 deg. 00 min. 49 sec. E. along the East line of said Menaker tract a distance of 2041.03 feet to a 3/8" iron rod found for corner in the center of North Country Lane (county road);

THENCE N. 89 deg. 06 min. 19 sec. W. along and near said center of North Country Lane a distance of 2645.47 feet to a 1/2" iron rod found for corner at the Southwest corner of said Menaker tract at the intersection of the center of said road with the East right-of-way line of said F.M. Highway 1141;

THENCE N. 00 deg. 01 min. 49 sec. W. with the East right-of-way line of said F.M. Highway 1141 a distance of 1941.18 feet to a 1/2" iron rod found for corner;

THENCE N. 45 deg. 02 min. 47 sec. E. along the East right-of-way line of said highway a distance of 7050 feet to the POINT OF BEGINNING and containing 121.16 acres or 5,277,595 square feet of land.

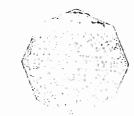
NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480543 0035 B, dated SEPT 17, 1980, this property lies in Zones A & C. Part of this property does appear to be within a 100-year Flood plain.
- 2) BEARING SOURCE IS RECORDED DEED IN VOL. 154, PG. 625, D.R.R.C.T.

SURVEYOR'S CERTIFICATE

I, Harold D. Feltz, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat or map was prepared for ROCKWALL COUNTY ABSTRACT & TITLE COMPANY as 123 acres, on FM 552 and FM 1141, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground on the 15th day of Feb., 2000.

Harold D. Feltz III
 Harold D. Feltz III, R.P.L.S. No. 5034



THIS INDENTURE, made this 27 day of April, 1956, by and between Mrs. J.M. Nelson etur and _____ his wife, residents of the County of Rockwall, State of Texas, hereinafter referred to as the first party, and Kaufman Van Zandt Soil Conservation District, hereinafter referred to as the second party,

WITNESSETH THAT:

WHEREAS, The Secretary of Agriculture, United States Department of Agriculture, has been authorized by the Congress to carry out a program of assistance to local agencies and organizations in planning and installing works and measures for watershed protection, flood prevention, and agricultural phases of the conservation, development, utilization and disposal of water, and

WHEREAS, the second party is cooperating in said program in the Trinity River Upper East Fork Laterals watershed, State of Texas, in connection with which the second party desires to secure certain rights in, over and upon the hereinafter described land of the first party,

THEREFORE, for and in consideration of One Dollar (\$1.00) and the benefits accruing to the first party from the installation of said program and other good and valuable considerations, the receipt whereof is hereby acknowledged, the first party does hereby grant and convey unto the second party an easement in, over and upon the following described land situated in the County of Rockwall, State of Texas, to-wit:

125.76 ac. tract of land deeded to J.M. Nelson by S.R. McGreary in the J.M. Goss survey and recorded in Book 10 page 299 of the Rockwall County, Texas Deed Records.

1. The second party shall have the right, privilege and authority to use said land for the installation, operation, maintenance and inspection of the following described works and measures, and for the storage of waters that may be impounded by any dam or other reservoir structure described below: Floodwater retarding structure, including dam, emergency spillway, adjacent work areas, and portion of the sediment and detention pools. Trees and brush will be cleared from dam, spillway and sediment pool area as determined necessary by the second party. Fill material will be taken from the sediment pool and spillway if needed and suitable. Project involves 30 acres, more or less of the above described lands.

2. The second party shall be responsible for operating, maintaining, and keeping in good repair the works and measures herein described.

3. The first party reserves the right to use said land or any part thereof at any time and for any purpose, provided such use does not damage the structure or interfere with the full enjoyment by the second party of the easement herein conveyed.

4. The second party shall have the right to construct fences and gates around the structures, and such fences and gates shall not be changed in any way except by the consent of the second party.

5. This easement shall include the right of ingress and egress at any time over and upon said land and any adjoining land owned by the first party.

6. This easement shall include all easements, rights-of-way, rights, privileges and appurtenances in or to said land that may be necessary, useful or convenient for the full enjoyment of the easement herein conveyed.

7. The first party hereby releases the second party from any and all claims for damages arising out of or in connection with the installation, operation and maintenance of the works and measures herein described:

Floodwater Retarding Structure Site 3 E

8. The first party hereby warrants the title to said land; however, the easement herein conveyed shall be subject to any easements, rights-of-way, or mineral reservations or rights now outstanding in third persons. This easement shall not pass, nor shall same be construed to pass, to the second party any fee simple interest or title to the above described lands.

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9. In the event the easement described herein is abandoned, the rights, privileges, and authority granted hereunder to the second party shall cease and determine.

IN WITNESS WHEREOF, the parties hereto have hereunto subscribed their names and affixed their seals as of the day and year first above written.

- 1 Charles J. Wilson
- 2 James R. Murphy
- 3 Thomas Nelson Murphy
- 4 M. Burns J. Watkins
- 5 Aslee Nelson Watkins
- 6 James R. Dudley
- 7 Iva Nell Dudley
- 8 Henry C. Carr
- 9 Mrs. Jennie Nelson Carr
- 10 William A. Nelson
- 11 Mary Dee Nelson

Mrs J M Nelson
Jessie Nelson Rodgers
 (Signature of first party)

Kaufman Van Zandt Soil Conservation District
Soil Conservation District

BY Frank Springer
 Chairman, Board of Supervisors

THE STATE OF _____

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ and _____, ~~his wife,~~ both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said _____, wife of the said _____, having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said _____ acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Notary Public in and for _____

SEAL
 My Commission Expires: 6-1-57 County, _____

THE STATE OF Texas

COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Mrs. J.M. Nelson known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Frank Springer
 Notary Public in and for Rockwall
Rockwall County Texas

SEAL
 My Commission Expires: June 1, 1957

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Alton A. Nelson and Mary Dee Nelson, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Mary Dee Nelson wife of the said.

433

Alton A. Nelson having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Mary Doe Nelson acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 1 day of March, A. D. 1957.

BETTY ARRANT, Betty Arrant
Notary Public in and for Ector County, Oklahoma

SEAL:

My commission expires: June 14, 1957

THE STATE OF Texas

COUNTY OF Bosque

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Henry A. Carr and Mrs. Lennie Nelson Carr, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Lennie Nelson Carr, wife of the said

Henry A. Carr having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Lennie Nelson Carr acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 13 day of Feb., A. D. 1957.

J. D. Starcher
Notary Public in and for Bosque County, Tex.

SEAL:

My commission expires:

WIFE'S SEPARATE ACKNOWLEDGMENT

THE STATE OF TEXAS, }
COUNTY OF Rockwall }

BEFORE ME, the undersigned, a Notary Public,

in and for said County, Texas, on this day personally appeared Jennie Nelson Rodgers, wife of K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Jennie Nelson Rodgers acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, This 3 day of Jan., A. D. 1957.
Frank Springer
Rockwall Co., Texas.

(L. S.)

THE STATE OF Texas

COUNTY OF _____

434

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Melbazz I. Watkins

and Aslee Nelson Watkins his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Aslee Nelson Watkins, wife of the said

Melbazz I Watkins having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Aslee Nelson Watkins acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 29 day of January,
M. Watkins
Aslee Nelson Watkins

A. D. 1957.

George C. Wright
Notary Public in and for Dallas
County, _____

SEAL:

My commission expires: 6/1/57

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Murphree and

Omaree Nelson Murphree, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Omaree Nelson Murphree of the said

James R. Murphree wife having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Omaree Nelson Murphree acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 29 day of January,
James R. Murphree
Omaree Nelson Murphree

A. D. 1957.

George C. Wright
Notary Public in and for Dallas
County, Texas

SEAL

My commission expires: 6-1-57

THE STATE OF Texas
COUNTY OF Rockwall

435

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Albert J. Wilson

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 14 day of Jan., A. D. 1957.

Gladys James
Notary Public in and for Rockwall
Rockwall, County, Texas

SEAL
THE STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Dudley and Joan Nell Dudley, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Joan N. Dudley wife of the said

James R. Dudley having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Joan N. Dudley acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

SIGNED: James R. Dudley
SIGNED: Joan Nell Dudley

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 28th day of June, A. D. 1955.

SEAL

My commission expires: 6-1-1957

J. T. Lofland
Notary Public in and for
Rockwall County, Texas

THE STATE OF Texas
COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 3 day of Jan., A. D. 1957

Frank Springer
Notary Public in and for
Rockwall County Texas

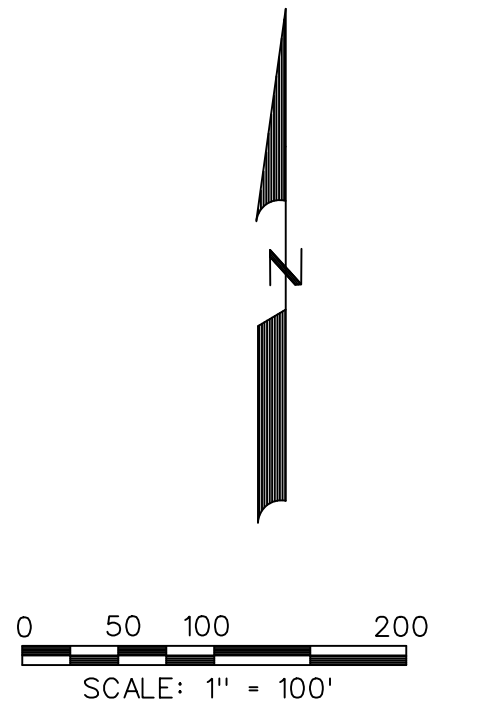
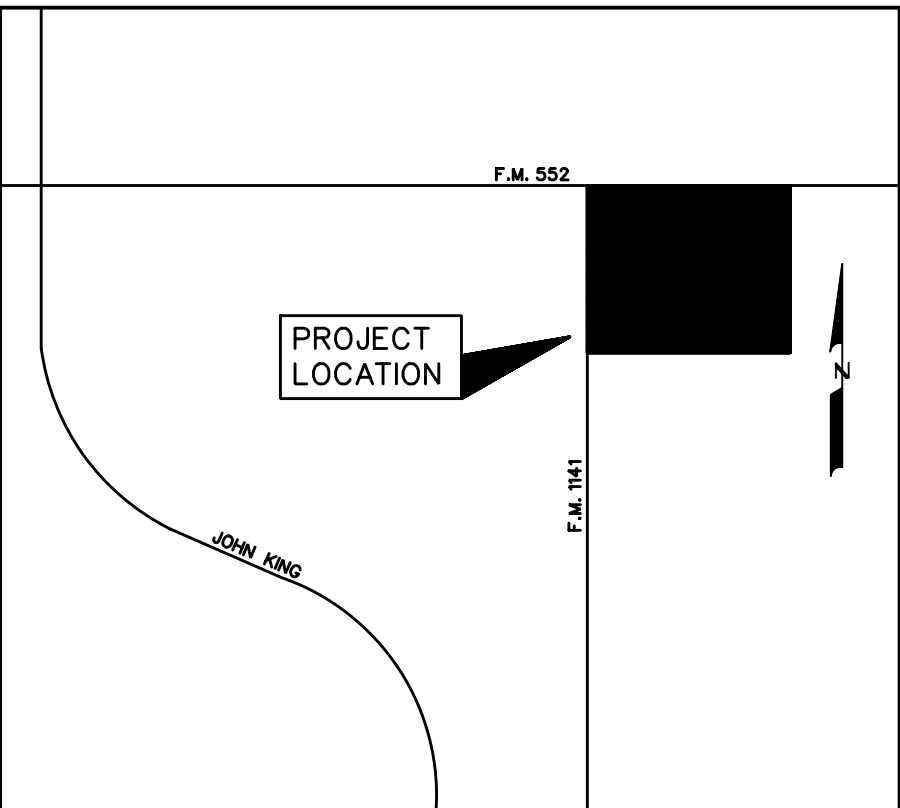
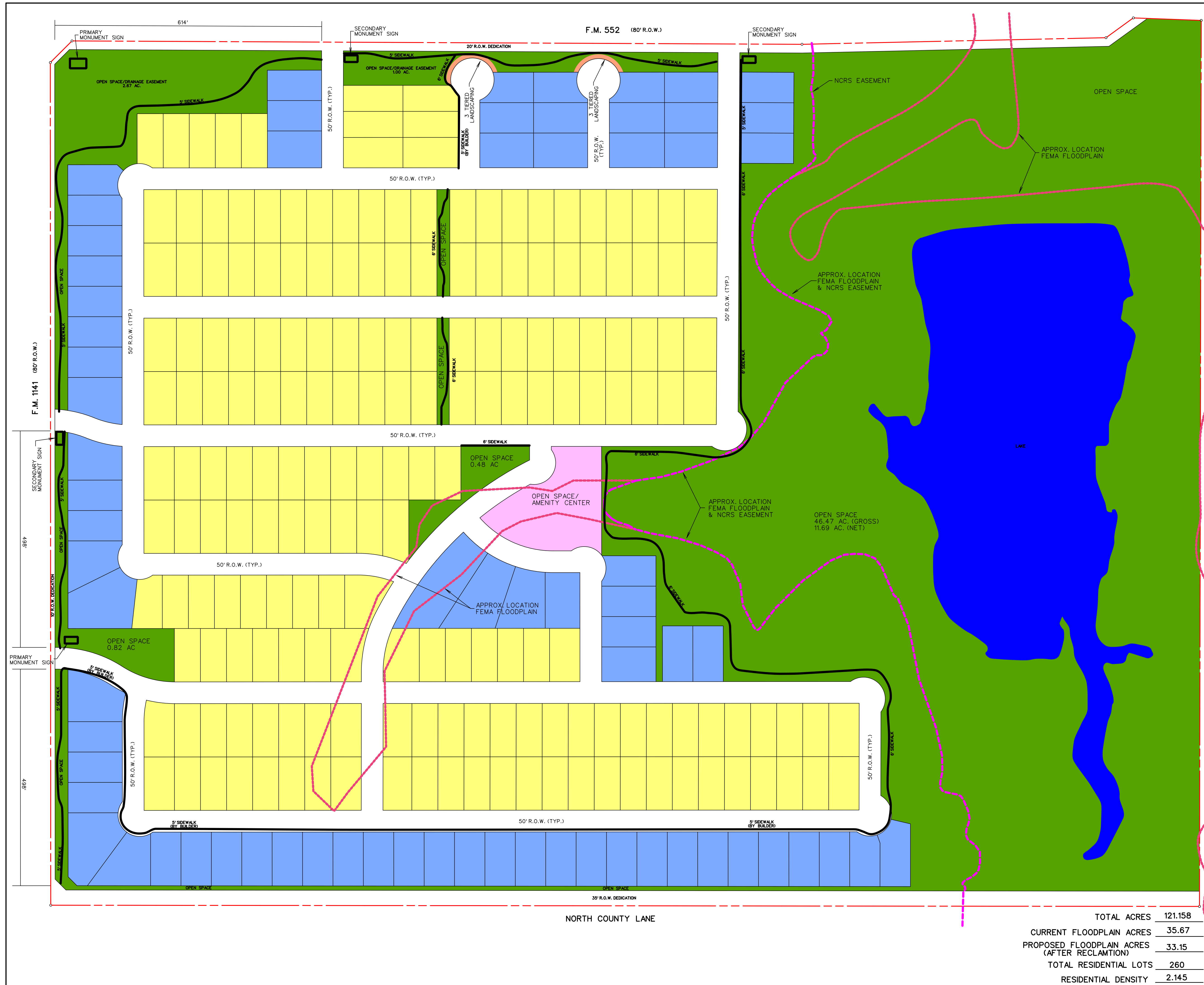
SEAL

My Commission Expires: 6-1-1957

FILED FOR RECORD 16 DAY OF April A.D. 1958, AT 2-30 M.

RECORDED 17 DAY OF April A.D. 1958, AT 9-30 A.M.

Deborah Wimpee
DERWOOD WIMPEE, CLERK COUNTY COURT, ROCKWALL COUNTY, TEXAS.



LEGEND

TYPICAL LOT SIZES

- Yellow box: - 60' X 123' - 188 LOTS
- Blue box: - 70' X 123' - 72 LOTS
- Green box: - PUBLIC OPEN SPACE/ LANDSCAPE BUFFER - 51.77 AC.
- Pink box: - AMENITY CENTER - 1.020 Ac.

NOTE:
THE MAXIMUM NUMBER OF RESIDENTIAL LOTS SHALL NOT EXCEED 265 LOTS.

TOTAL ACRES	121.158
CURRENT FLOODPLAIN ACRES	35.67
PROPOSED FLOODPLAIN ACRES (AFTER RECLAMATION)	33.15
TOTAL RESIDENTIAL LOTS	260
RESIDENTIAL DENSITY	2.145

CONCEPT PLAN OF
NELSON LAKE ESTATES
SITUATED IN THE
J.M. GLASS SURVEY, ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OWNER
UNISON INVESTMENT
23545 CRENSHAW BLVD., STE. 201
TORRANCE, CA 90505

FISCAL IMPACT ANALYSIS TOOL

ASSUMPTIONS: (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

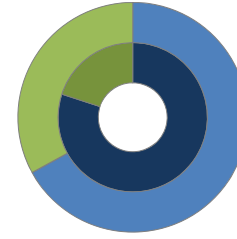
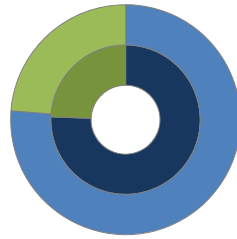
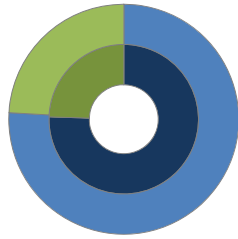
DISCLAIMER: The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

SUMMARY OF METHODOLOGY: The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

CASE NO.: Z2020-045

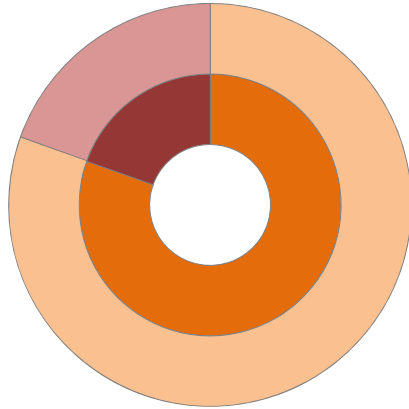
CASE NAME: Zoning Change (SF-16 & NS to PD) [Nelson Lake Estates]

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,934.11	75.49%	\$ 4,086,072,836.39	75.92%	10,949.47	75.59%	\$ 4,159,745,765.77	76.24%	15.36	0.11%	\$ 73,672,929.38	1.37%	80%	67%	-9.24%
NON-RESIDENTIAL	3,550.31	24.51%	\$ 1,296,229,067.61	24.08%	3,533.95	24.40%	\$ 1,296,111,589.15	23.76%	(16.36)	-0.11%	\$ (117,478.46)	0.00%	20%	33%	-9.24%
OPEN SPACE	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,483.42	99.99%	\$ 5,455,857,354.92	100.00%			\$ 73,555,450.92	1.37%	100%	100%	
TOTAL	2,487.57		\$ 380,531,381.26		2,488.57		\$ 389,033,454.47								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 5,844,890,809.39								

PRESENT		
	ACRES	%
RESIDENTIAL	19,697.30	80.41%
NON-RESIDENTIAL	4,799.77	19.59%
OPEN SPACE	6,114.49	
TOTAL	30,611.56	
PROPOSED		
	ACRES	%
RESIDENTIAL	19,729.78	80.54%
NON-RESIDENTIAL	4,783.41	19.53%
OPEN SPACE	6,098.36	
TOTAL	30,611.56	
CHANGE		
	ACRES	%
RESIDENTIAL	32.48	0.13%
NON-RESIDENTIAL	(16.36)	-0.07%



FUTURE LAND USE MAP

ESTIMATED COST/REVENUES

BENCHMARKS

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Residential Value	\$ 402,557.62	\$ 39,692,435.04	\$ 73,672,929.38	\$ 33,980,494.35
Non-Residential Value	\$ 117,478.46	\$ 9,527,246.00	\$ -	\$ (9,527,246.00)
Residential Acreage	56.06	56.06	71.42	15.36
Non-Residential Acreage	16.36	16.36	-	(16.36)

ANNUAL REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Residential Revenues	\$ 1,489.46	\$ 147,034.16	\$ 272,684.08	\$ 125,649.91
Non-Residential Revenues	\$ 434.67	\$ 56,519.64	\$ -	\$ (56,519.64)
Direct Sales Tax Increase	\$ -	\$ 229,556.40	\$ -	\$ (229,556.40)
Indirect Sales Tax Increase	\$ -	\$ 179,187.05	\$ 309,948.52	\$ 130,761.47
Total Revenues	\$ 1,924.13	\$ 612,297.26	\$ 582,632.60	\$ (29,664.66)

ANNUAL EXPENDITURES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Cost of Community Service for Residential	\$ -	\$ (345,644.92)	\$ (715,566.98)	\$ (369,922.06)
Cost of Community Service for Non-Residential	\$ -	\$ (78,815.93)	\$ -	\$ 78,815.93
Total Estimated Expenditures	\$ -	\$ (424,460.84)	\$ (715,566.98)	\$ (291,106.14)

EST. ANN. COST/REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
EST. ANN. COST/REVENUES	\$ 1,924.13	\$ 187,836.42	\$ (132,934.38)	\$ (320,770.80)
OTHER BENCHMARKS				
Additional Citizens Added to Population		438	758	320
Estimated Non-Resident Consumers in City		147	-	(147)

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A NEIGHBORHOOD SERVICES (NS) DISTRICT AND A SINGLE-FAMILY 16 (SF-16) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 121.16-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. M. GASS SURVEY, ABSTRACT NO. 88, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Ryan Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a zoning change from a Neighborhood Services (NS) District and a Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF DECEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A':
Legal Description

All that certain lot, tract or parcel of land situated in the *J.M. GLASS SURVEY, ABSTRACT NO. 88*, Rockwall County, Texas, and being all of that tract of land as described in a Warranty Deed from Charles I. Cheshire to Marvin Menaker, *Trustee*, dated April 23, 1980, and being recorded in *Volume 154, Page 625* of the *Deed Records* of Rockwell County, Texas, and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found for corner at the east cut back corner at the intersection of the east right-of-way line of FM-1141 (80' ROW) with the South right-of-way line of FM-552 (80' ROW);

THENCE along the south right-of-way line of said FM-552 the following:

S. 89 DEG. 44 MIN. 00 SEC. E. (*Controlling Bearing*) a distance of 1681.27-feet to a ½-inch iron rod found for corner;

N. 88 DEG. 45 MIN. 05 SEC. E. a distance of 700.30-feet to a tack found in wood monument for corner;

N. 54 DEG. 06 MIN. 00 SEC. E. a distance of 77.79-feet to a ½-inch iron rod found for corner;

THENCE S. 87 DEG. 51 MIN. 31 SEC. E. leaving the South line of said FM-552, a distance of 156.34-feet to a ½-inch iron rod set for corner at the base of a fence corner post for corner at the northeast corner of said *Menaker Tract*;

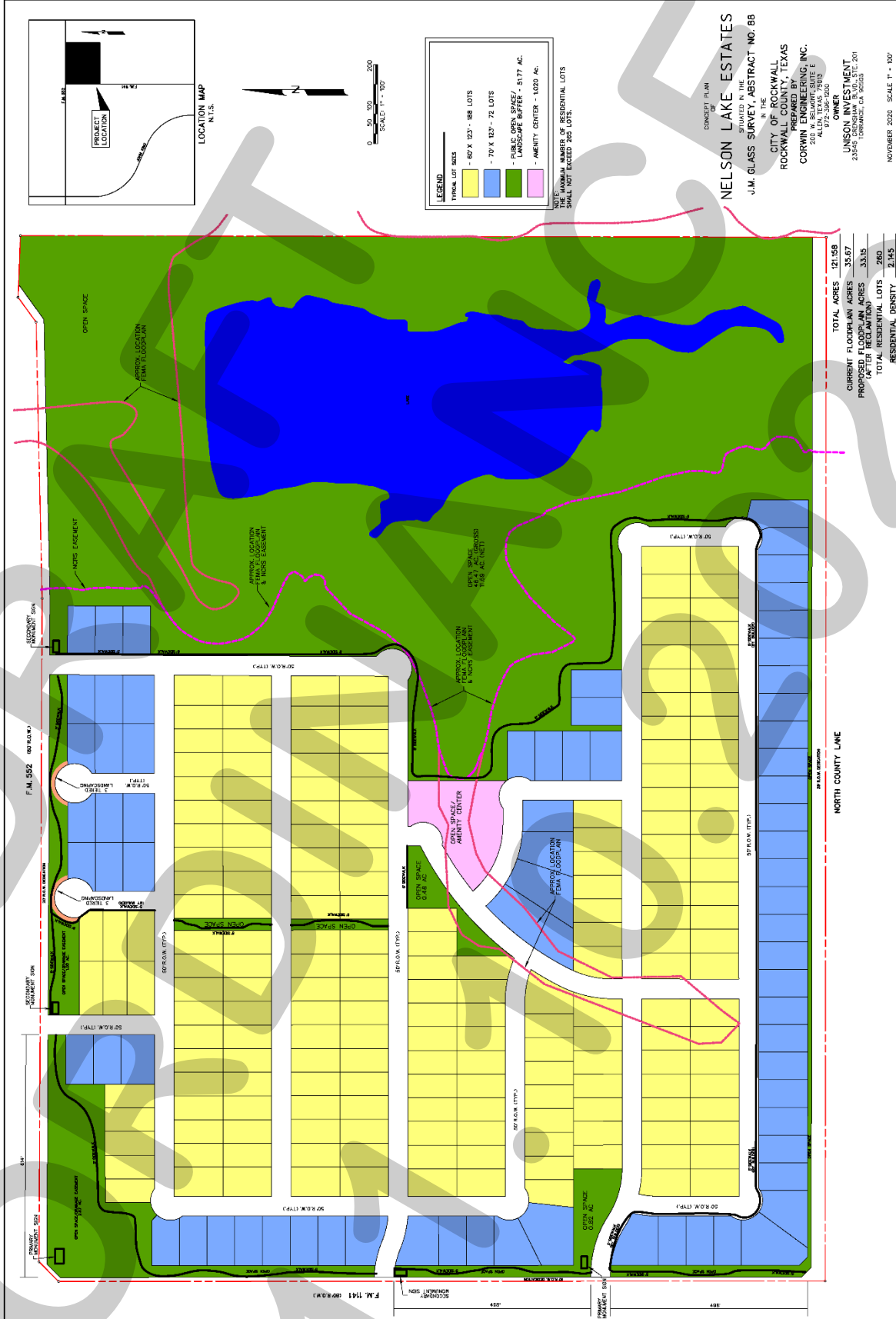
THENCE S. 00 DEG. 06 MIN. 49 SEC. E. along the east line of said *Menaker Tract* a distance of 2,041.03-feet to a 3/8-inch iron rod found for corner in the center of North Country Lane;

THENCE N. 89 DEG. 56 MIN. 19 SEC. W. along and near said center of North Country Lane a distance of 2,645.47-feet to a ½-inch iron rod found for corner at the southwest corner of said *Menaker Tract* at the intersection of the center of said road with the east right-of-way line of said FM-1141;

THENCE N. 00 DEG. 01 MIN. 46 SEC. W. with the east right-of-way line of said FM-1141 a distance of 1,941.18-feet to a ½-inch iron rod found for corner;

THENCE N. 45 DEG. 02 MIN. 47 SEC. E. along the east right-of-way line of said highway a distance of 70.50-feet to the *POINT OF BEGINNING* and containing 121.16-acres or 5,277,595 SF of land.

Exhibit 'C': Concept Plan



**Exhibit 'D':
Density and Development Standards**

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,000 SF	193	72.83%
B	70' x 120'	8,400 SF	72	27.16%
<i>Maximum Permitted Units:</i>			265	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.20 dwelling units per gross acre of land; however, in no case should the proposed development exceed 265 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B
<i>Minimum Lot Width</i> ⁽¹⁾	60'	70'
<i>Minimum Lot Depth</i>	120'	120'
<i>Minimum Lot Area</i>	7,000 SF	8,400 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'
<i>Maximum Height</i> ⁽³⁾	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,000 SF	2,200 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

Exhibit 'D':
Density and Development Standards

- 6: Flat front entry garage configurations are permitted on up to 35% (*i.e. a maximum of 92 lots*) of the total number of lots provided that: [1] no more than 40% (*i.e. a maximum of 78 lots*) of the lots for Lot Type 'A' have a flat front entry garage, [2] no more than 20% (*i.e. a maximum of 14 lots*) of the Lot Type 'B' have a flat front entry garage, and [3] the front yard building setback for all lots with a flat front entry garage is increased to a minimum of 25-feet.

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the total exterior façade area of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Excluding dormers and walls over roof areas, siding products (*e.g. HardiBoard or Hardy Plank*) shall not be visible on homes abutting any major thoroughfare (*i.e. FM-552 and FM-1141 as shown on Exhibit 'C' of this ordinance*).
- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation and Garage Doors*. This development shall adhere to the following garage design and orientation requirements:
- (1) *Type 'A' Lots*. Garages shall be oriented in a *traditional swing* (or *j-swing*) -- *where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration* -- or in a flat front entry configuration (*i.e. even with the front façade of the primary structure*). On *traditional swing* (or *j-swing*) garage configurations, a second single garage door facing the street is permitted if it is located behind the width of the double garage door. Garages configured in a flat front entry configuration shall be allowed on a maximum of 40% of the lots (*i.e. a maximum of 78 lots*) provided that the front yard building setback is increased to 25-feet. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).
- (2) *Type 'B' Lots*. Garages shall be oriented in a *traditional swing* (or *j-swing*) -- *where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration* -- or in a flat front entry configuration (*i.e. even with the front façade of the primary structure*). On *traditional swing* (or *j-swing*) garage configurations, a second single garage door facing the street is permitted if it is located behind the width of the double garage door. Garages configured in a flat front entry configuration shall be allowed on a maximum of 20% of the lots (*i.e. a maximum of 14 lots*) provided that the front yard building setback is increased to 25-feet. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

Exhibit 'D':
Density and Development Standards

All garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in Figure 1.

Figure 1. Examples of Enhanced Garage Door



Carriage Hardware

- (5) *Anti-Monotony Restrictions*. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3), (4)
B	70' x 130'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-552, FM-1141, or North Country Lane shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout

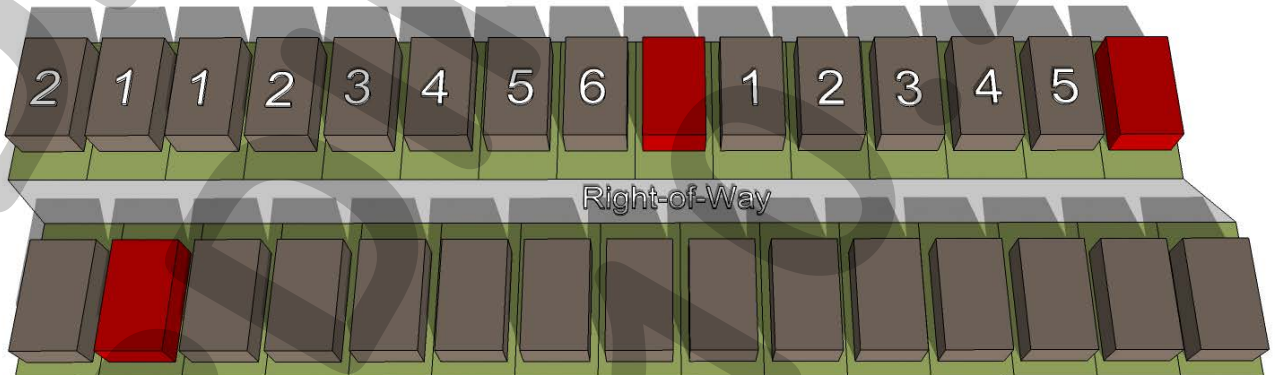
Exhibit 'D':
Density and Development Standards

- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or

Exhibit 'D':
Density and Development Standards

greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) *Wrought Iron/Tubular Steel*. Lots located along the perimeter of roadways (*i.e. FM-552, FM-1141 and North Country Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) *Corner Lots*. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) *Solid Fences (including Wood Fences)*. All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(7) *Landscape and Hardscape Standards*.

- (a) *Landscape*. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
- (b) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) *Landscape Buffer and Sidewalks (FM-552)*. A minimum of a 30-foot landscape buffer shall be provided along FM-552 (*outside of and beyond any required right-of-way dedication*), that shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, additional three (3) tiered landscaping (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be required adjacent to the cul-de-sacs along FM-552 as depicted in *Exhibit 'C'* of this ordinance.
 - (2) *Landscape Buffer and Sidewalks (FM-1141)*. A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any*

Exhibit 'D':
Density and Development Standards

required right-of-way dedication), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.

- (3) Landscape Buffers (North Country Lane). A minimum of a 10-foot landscape buffer shall be provided along North Country Lane (*outside of and beyond any required right-of-way dedication*). This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning* --, a minimum of four (4) caliper inches in size, that will be planted on 15-foot centers along the entire frontage of North Country Lane. An alternative screening plan proposing the use of existing trees, for the area directly adjacent to North Country Lane, may be submitted by the developer with the PD Site Plan. This alternative plan can be approved by the Planning and Zoning Commission upon a finding that the proposed plan will provide adequate screening that is equal to or exceeds the standards stated in this section.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject*

Exhibit 'D':
Density and Development Standards

Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 24.232-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A concrete trail system shall be constructed in generally the same areas and of the same sizes as what is depicted in *Exhibit 'C'* of this ordinance.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (16) VariANCES. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Mike Whittle
CASE NUMBER: Z2020-046; *Specific Use Permit (SUP) for a Residential Infill for 295 Victory Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*. At the time of annexation, the property was zoned Agricultural (AG) District. On November 12, 1973, the subject property was rezoned from an Agricultural (AG) District to Planned Development District 8 (PD-8) for single-family land uses by *Ordinance No. 73-48*. The subject property was platted as Lot 16, Block E, Chandler's Landing, Phase 16 Addition on August 5, 1985 by *Case No. PZ1985-50-01*. On January 20, 1986, the City Council approved *Ordinance No. 86-04 [Case No. PZ1985-094-01]* amending Planned Development District 8 (PD-8) [*Ordinance No. 73-48*] to change the zoning of Lots 1-26, Block E and Lots 1-11, Block F of the Chandler's Landing, Phase 16 Addition to allow a zero lot-line lot configuration. The subject property was again replatted as Lot 24, Block E, Chandler's Landing, Phase 16 Addition on March 16, 2020 by *Case No. P2020-010*. The subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 295 Victory Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Victory Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family homes, which are zoned Planned Development District 8 (PD-8) for single-family land uses. North of this is Yacht Club Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a tract of land owned by the Chandler's Landing Home Owners Association (HOA), and which is dedicated as open space. Beyond this are several single-family homes, which are zoned Planned Development District 8 (PD-8) for single-family land uses. South of this is Freedom Court, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) single-family homes (*i.e.* 291 & 293 Victory Lane) that are zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is a tract of land owned by the Chandler's Landing Home Owners Association (HOA), and which is dedicated as open space. East of this are several single-family homes that are zoned Planned Development District 8 (PD-8) for single-family land uses.

West: Directly west of the subject property are several homes that are zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is Yacht Club Drive, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family homes that are zoned Planned Development District 8 (PD-8) for single-family land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Chandler's Landing Phase 16 Subdivision, which has been in existence August 5, 1985, consists of 57 lots, and is 98.25% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e.* *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Victory Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Victory Lane and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Victory Lane.
Year Built	1994-2017	N/A
Building SF on Property	1,788 SF – 3,528 SF	4,020 SF (3,508 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	30-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	0-Feet and 12-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	20-Feet
Building Materials	Brick and Siding (Secondary)	Brick and Siding
Paint and Color	Red, White, Grey, Blonde, and Brown	White Brick and Siding
Roofs	Composite Shingles and Tile	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing, J-swing, and no garages.	The garage will be attached and located approximately nineteen (19) feet in front of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage nineteen (19) feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement.

Staff should note that other single-family homes along Victory Lane have a garage in front of the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) and Planned Development District 8 (PD-8). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Victory Lane and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 20, 2020, staff mailed 129 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, Signal Ridge, Signal Ridge Phase 4, Water's Edge Lake Ray Hubbard, and Lago Vista Homeowner's Associations (HOAs), which are HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) email in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 295 Victory Lane

Subdivision Chandler's Landing Lot 16 Block E

General Location Yacht Club Dr. & Victory Lane

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning		Current Use	<u>none</u>
Proposed Zoning	<u>SUP-SF1</u>	Proposed Use	<u>home/dwelling</u>
Acreage	<u>0.15</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>1</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Whittle & Johnson Custom Homes</u>	<input type="checkbox"/> Applicant <u>Mike Whittle</u>
Contact Person <u>Mike Whittle</u>	Contact Person <u>Mike Whittle</u>
Address <u>6525 Horizon Rd. Ste. 130</u>	Address <u>6525 Horizon Rd. Ste. 130</u>
City, State & Zip <u>Heath, TX 75032</u>	City, State & Zip <u>Heath, TX 75032</u>
Phone <u>972-816-5404</u>	Phone <u>972-816-5404</u>
E-Mail <u>mike@wjcustomhomes.com</u>	E-Mail <u>mike@wjcustomhomes.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Aaron Johnson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

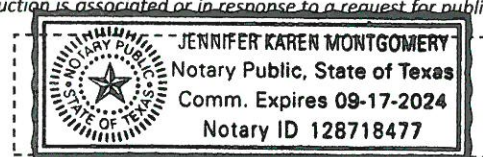
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 2020.

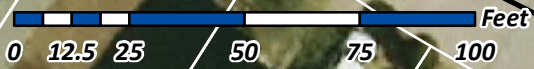
Owner's Signature

[Signature]
Jennifer Montgomery

Notary Public in and for the State of Texas



My Commission Expires 9-17-2024



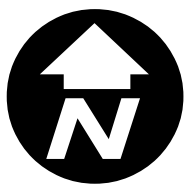
Z2020-046- SUP FOR RESIDENTIAL INFILL AT 295 VICTORY LANE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

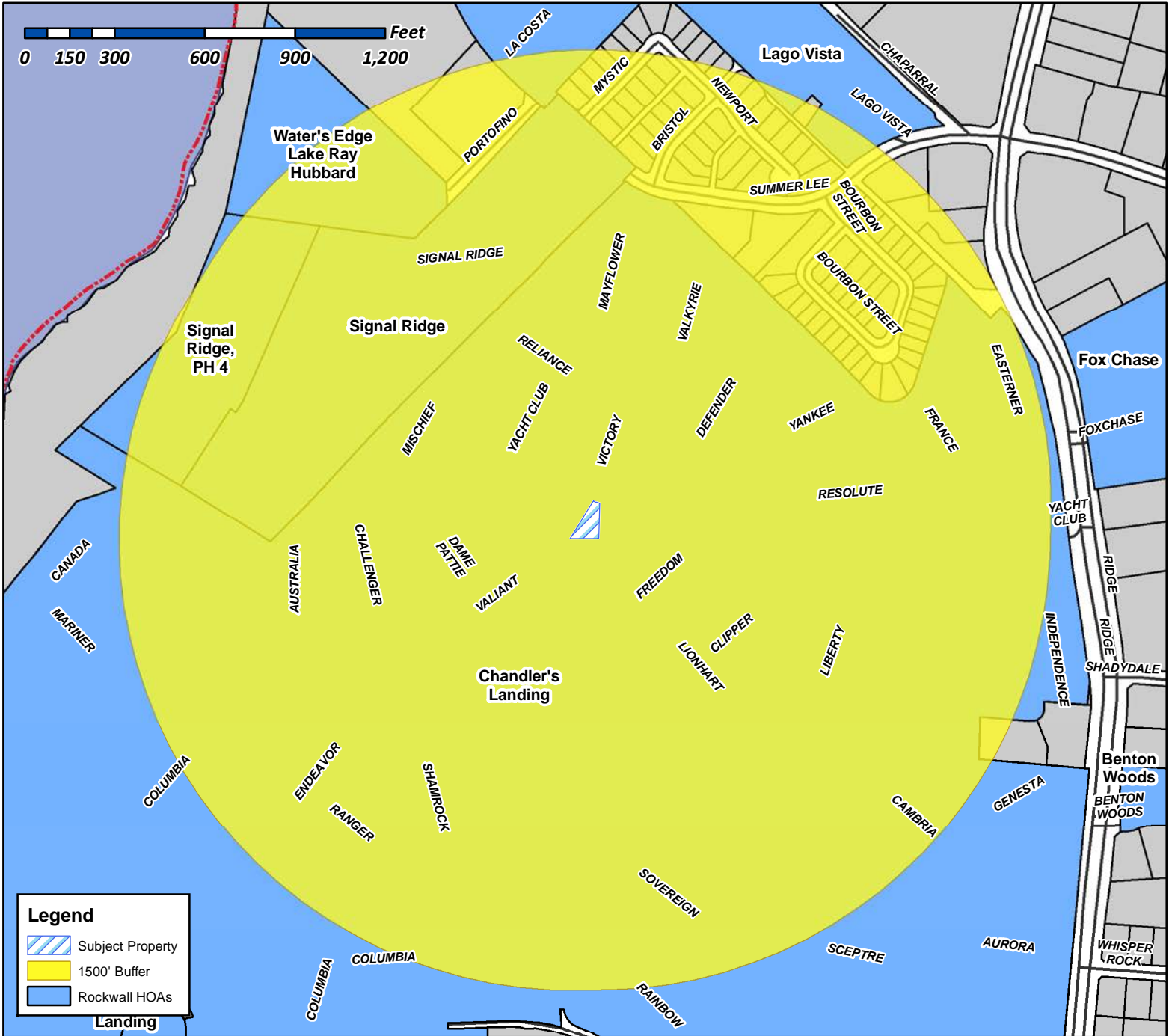




City of Rockwall

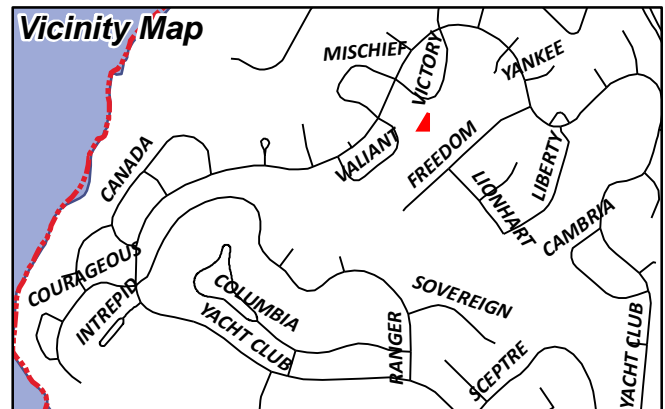
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Case Number: Z2020-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 295 Victory Lane

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Wednesday, October 21, 2020 2:20 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: Public Notice (10.20.2020).pdf; HOA Map Z2020-046.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, October 23, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, November 10, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, November 16, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-046 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

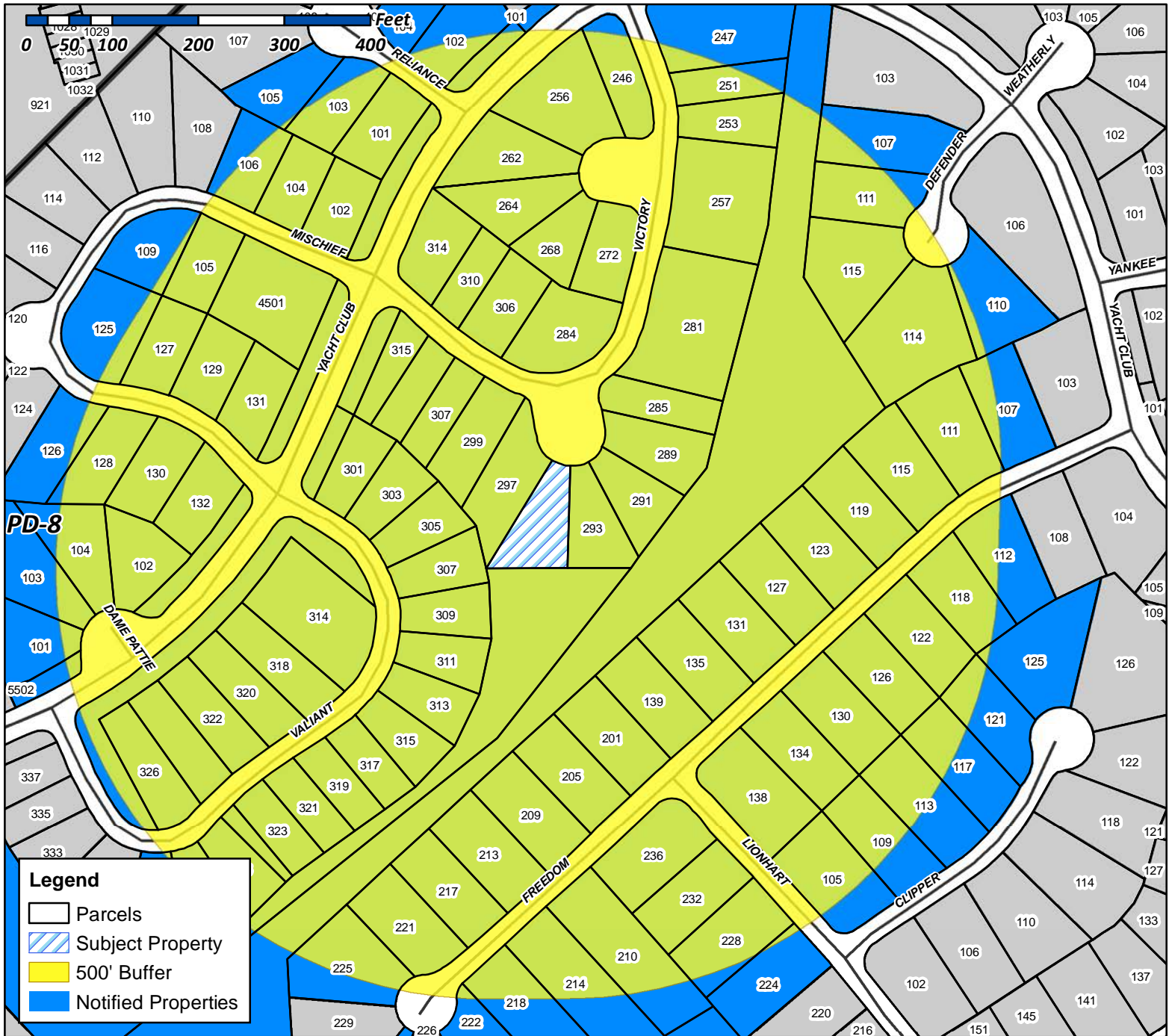
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City of Rockwall

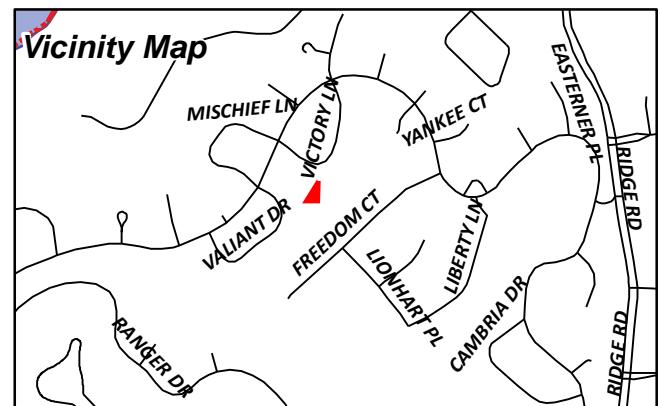
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-046
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 295 Victory Lane

Date Created: 10/19/2020
 For Questions on this Case Call (972) 771-7745



CHANDLERS LANDING COMMUNITY
ASSOCIATION
1 COMMODORE PLAZA
ROCKWALL, TX 75032

MAFFEI DIEGO R & GERTRAUD A
101 DAME PATTIE DR
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL JASON & CORI
102 MISCHIEF LN
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

THOMAS VELIA
103 DAME PATTIE
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
103 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCE CT
ROCKWALL, TX 75032

SPOKES JULIE
105 CLIPPER COURT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

ROARK BOBBIE ETAL
107 DEFENDER CT
ROCKWALL, TX 75032

ALLEN REGINALD
107 FREEDOM CT
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E
109 CLIPPER CT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC
110 DEFENDERCT
ROCKWALL, TX 75032

STEBBINS GREGORY & KRISTEN
111 DEFENDER CT
ROCKWALL, TX 75032

HEBERT EARL T & LANA G
111 FREEDOM CT
ROCKWALL, TX 75032

RUSSELL DEBORA J AND
JOSEPH A JR & EDNA J JERMAN
112 FREEDOM COURT
ROCKWALL, TX 75032

SMITH THOMAS M
113 CLIPPER COURT
ROCKWALL, TX 75032

WEAVER C R & KAREN REV LIVING TR
114 DEFENDER CT
ROCKWALL, TX 75032

WEBSTER LIDIA
115 DEFENDER CT
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK
115 FREEDOM CT
ROCKWALL, TX 75032

PALMER TONY & JUDY
117 CLIPPER CT
ROCKWALL, TX 75032

JASTER FAMILY LIVING TRUST
EMIL EDWARD & MARGARET O JASTER
TRUSTEES
118 FREEDOM COURT
ROCKWALL, TX 75032

JONES FELICIA M
119 FREEDOM COURT
ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

PINSON REGINALD A & CAROL S
121 CLIPPER CT
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC
122 FREEDOMCT
ROCKWALL, TX 75032

THOMAS ALAN AND DANA
123 FREEDOM COURT
ROCKWALL, TX 75032

CASHMAN GINA L AND
JOEY L RIVER
125 CLIPPER CT
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEFLN
ROCKWALL, TX 75032

BOLES ALAN L & DANA M
126 FREEDOM CT
ROCKWALL, TX 75032

HUIE LONDON DARNELL AND KRISTIN NOEL
126 MISCHIEF LANE
ROCKWALL, TX 75032

SNIDER MICHAEL AND CASSANDRA
127 FREEDOM CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER
130 FREEDOM CT
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN
131 FREEDOM CT
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

ROSHAN KC
132 MISCHIEFLN
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P
134 FREEDOM CT
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA
138 FREEDOM CT
ROCKWALL, TX 75032

HENDRICKS LORI L
139 FREEDOMCT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD
HEATH, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MAXCEY THOMAS AND KIRSTEN
201 FREEDOM CT
ROCKWALL, TX 75032

FRITZ AND KATHY MCKINSTRY LIVING TRUST
205 FREEDOM CT
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

NORRISS KIMBERLY S
217 FREEDOM CT
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

NICHOLLS HARRY E JR
222 FREEDOM CT
ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E
224 LIONHART PLACE
ROCKWALL, TX 75032

DICKERSON PAUL L & LISA
225 FREEDOM CT
ROCKWALL, TX 75032

HOLLIS CODY JONATHAN
228 LIONHART PLACE
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
257 VICTORYLN
ROCKWALL, TX 75032

THOMAS VELIA
2612 GULL LAKE DRIVE
PLANO, TX 75025

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
264 VICTORYLN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN
268 VICTORY LN
ROCKWALL, TX 75032

MADSON RICHARD ARLEN
2710 ROUTH CREEK PKWY APT 3202
RICHARDSON, TX 75082

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

WILLIAMS ROBERT C
281 VICTORY LN
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE
291 VICTORY LANE
ROCKWALL, TX 75032

BILLITER KENT A
291 VICTORY LN
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORYLN
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

STOUFFER AMY JACKSON AND MITCH
301 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORYLN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

MADSON RICHARD ARLEN
307 VALIANT DR
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
309 VALIANT DR
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
309 VALIANT DR
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
310 VICTORYLN
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
311 VALIANTDR
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
317 VALIANT DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
32 LAKEWAY DRIVE
HEATH, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCIN
321 VALIANT DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

GUNDERSON BLAKE AND
CASEY MARIE VICKERS
325 VALIANT DR
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
326 VALIANTDR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
P.O. BOX 2195
TELLURIDE, CO 81435

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

WHITTLE & JOHNSON CUSTOM HOMES INC
PO BOX 369
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-046: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.15-acre parcel of land identified as Lot 24, Block E, **Chandler's Landing #16**, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-046: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Gamez, Angelica

From: Bruce Robison <brobison@robison.com>
Sent: Monday, November 2, 2020 9:52 AM
To: Planning
Cc: Bruce Robison
Subject: Case No. Z2020-046: Special Use Permit for Residential Infill

My name is Bruce Robison and I live at 135 Freedom Ct, Rockwall, TX 75032. I am opposed to the request for the reasons listed below.

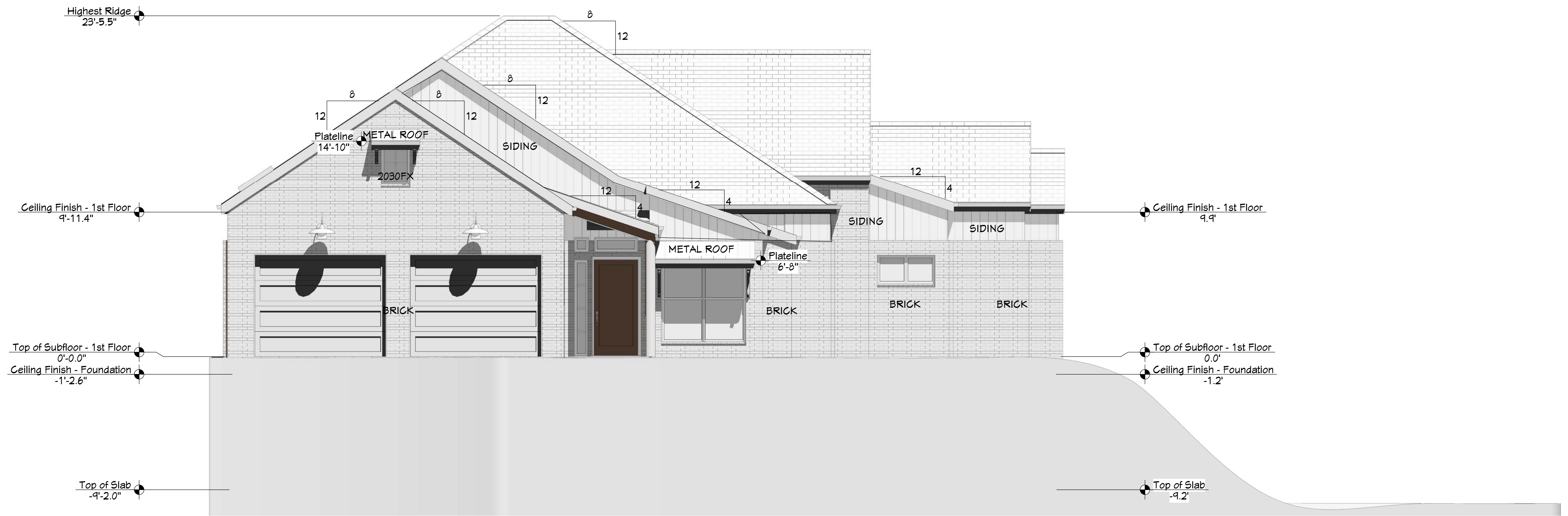
The street is already crowded and putting anything in that small space would make the crowded situation even worse.

Thank you,

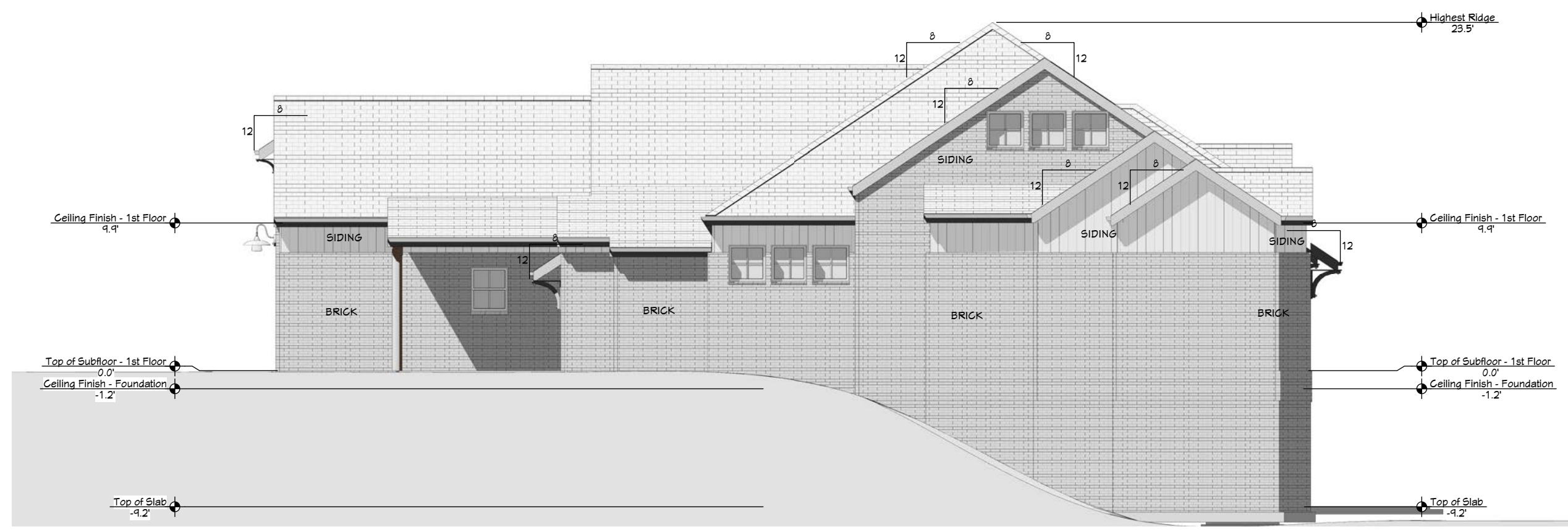
Bruce

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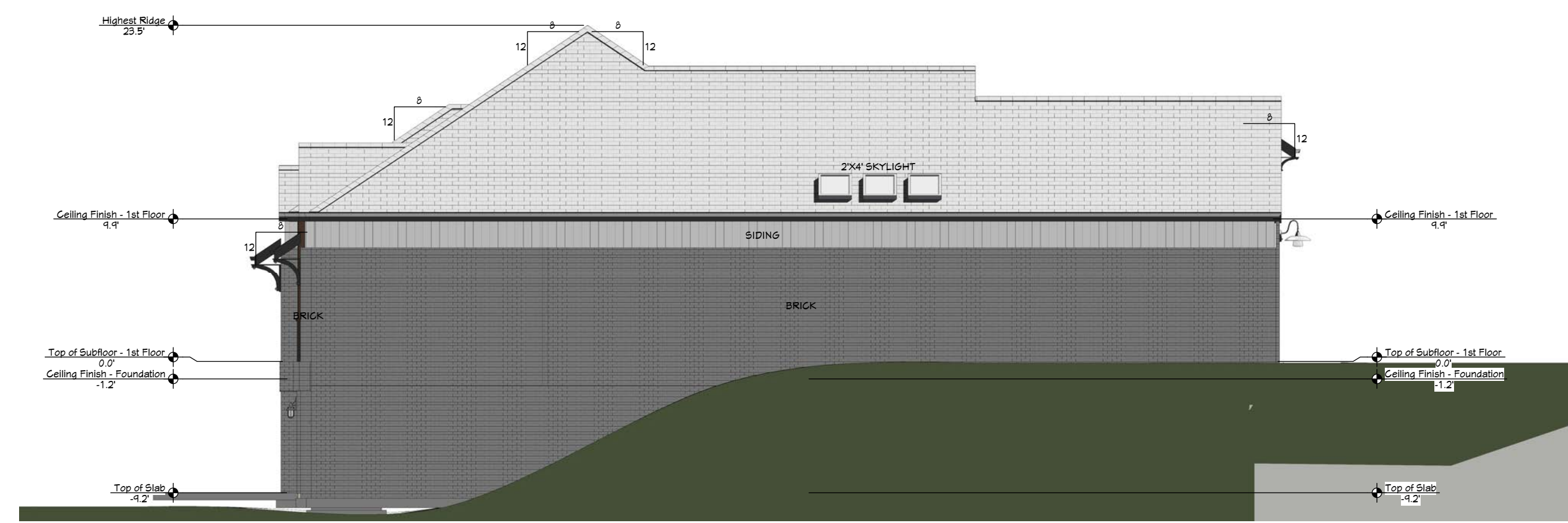
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



FRONT ELEVATION
1/4"=1'-0"



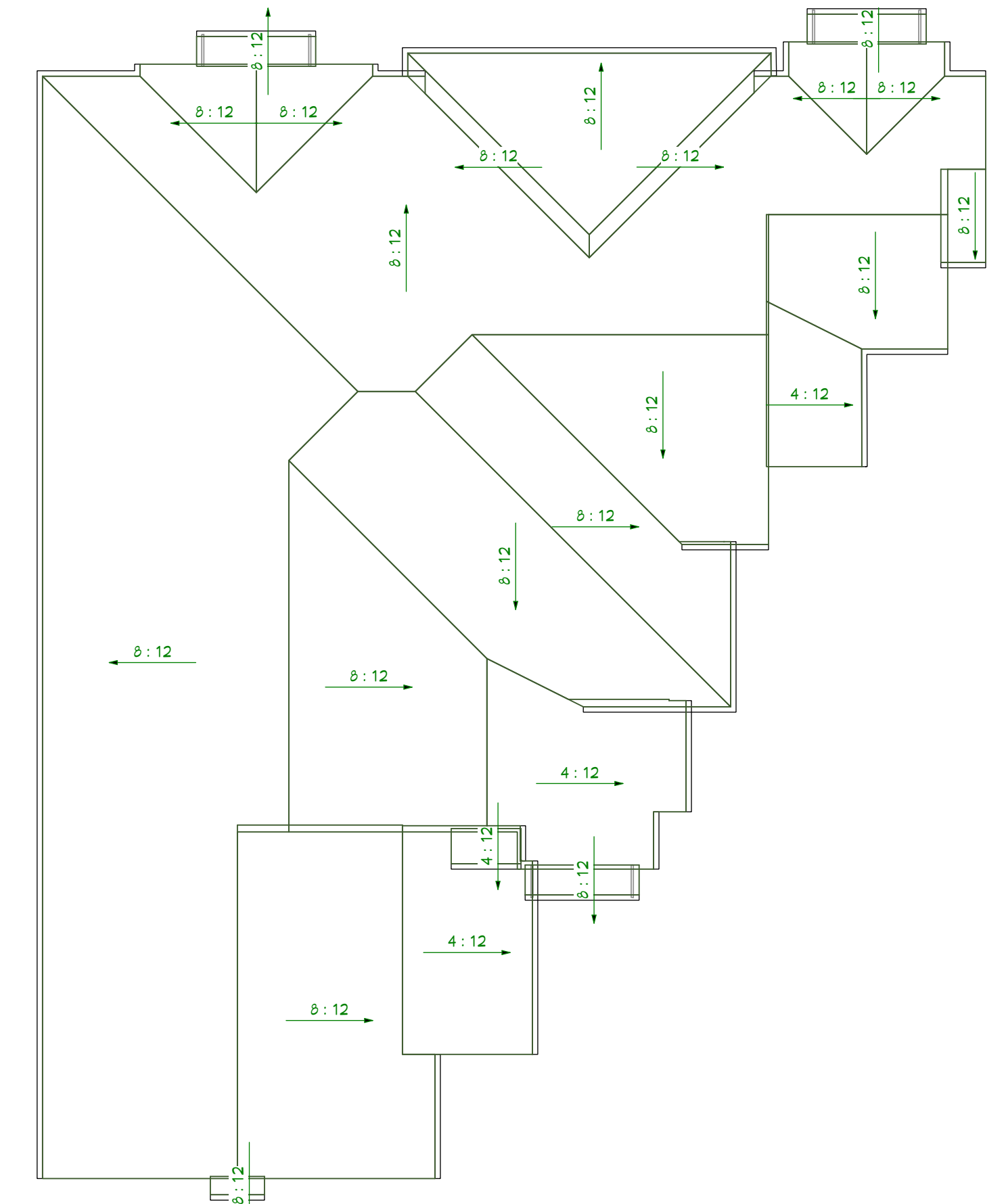
RIGHT ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



ROOF PLAN
1/4"=1'-0"
* ALL PITCHES TO BE 12:12 U.N.O.

ELEVATION NOTES:

COVERAGES:

FRONT: MASONRY- 81%, SIDING- 19%

REAR: MASONRY -87% SIDING -13%

LEFT: MASONRY- 86%, SIDING- 14%

RIGHT: MASONRY- 89% SIDING- 11%

BRICK-PHOENIX (BILCO WHITE)

ROOF-ONYX BLACK

SIDING-TITANIUM WHITE

GUTTERS-BLACK

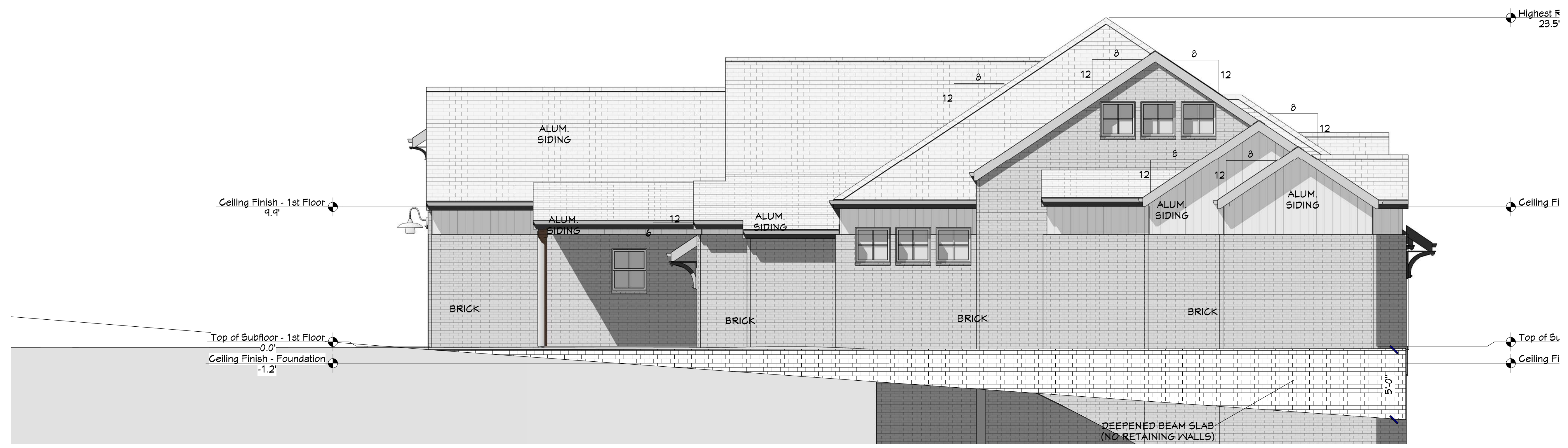
SOFFIT-PURE WHITE

EXT. PAINT-PURE WHITE

NO FENCING

NO RETAINING WALLS

NO POOLS



RIGHT ELEVATION SECTION

1/4"=1'-0"

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 4 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP HOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-38
WALLS R-21
FLOORS R-30

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE 2006 INTERNATIONAL BUILDING CODE.

SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS.

DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:

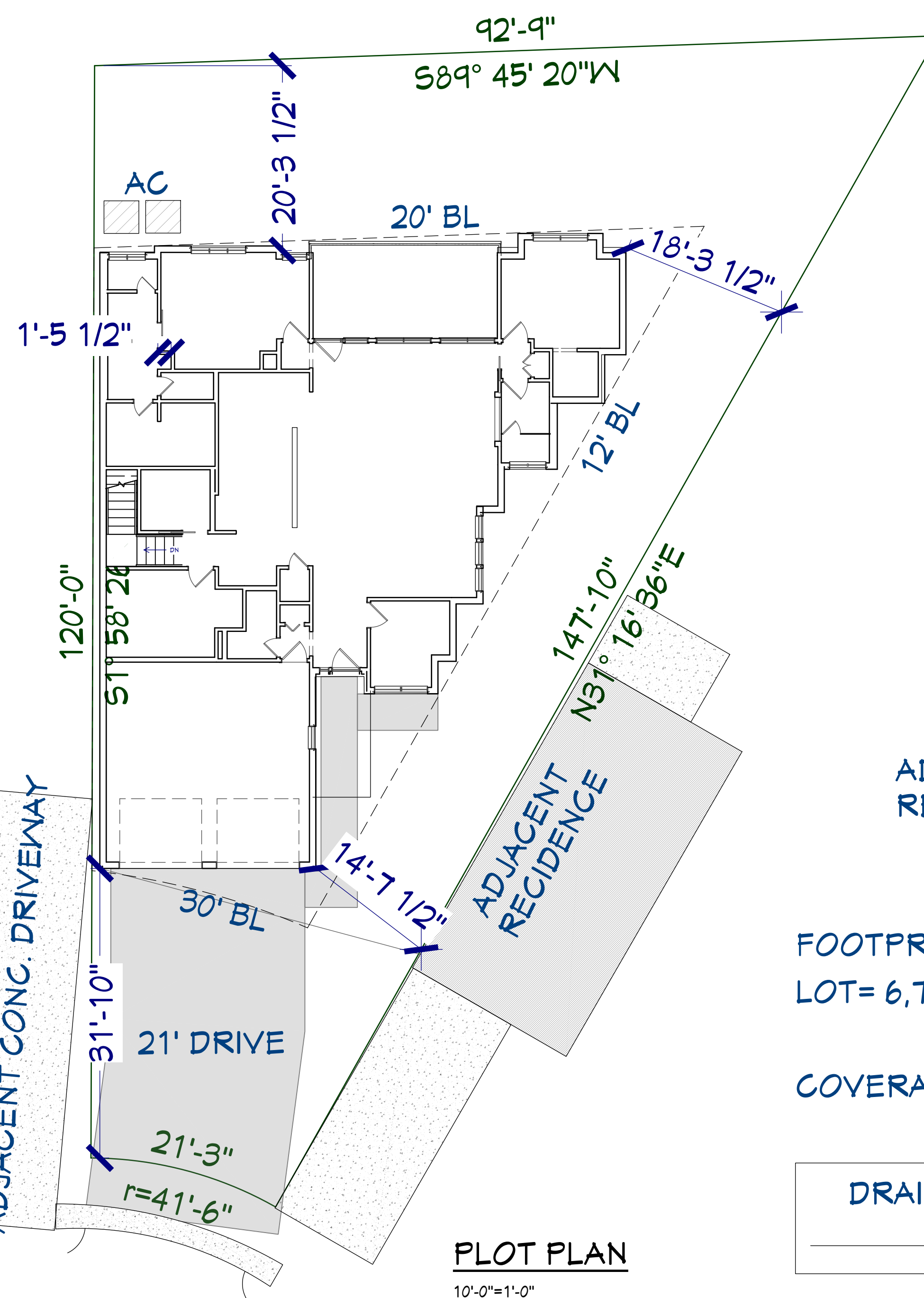
OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR FOR BUILDING OFFICIAL.
FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.
SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

DUTIES OF THE GENERAL CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:

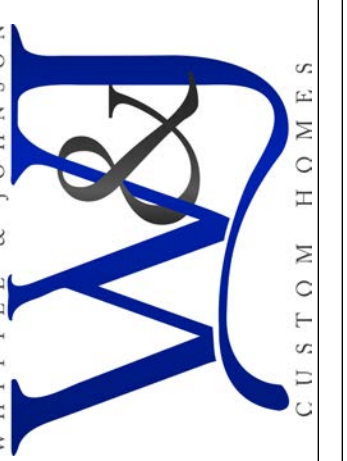
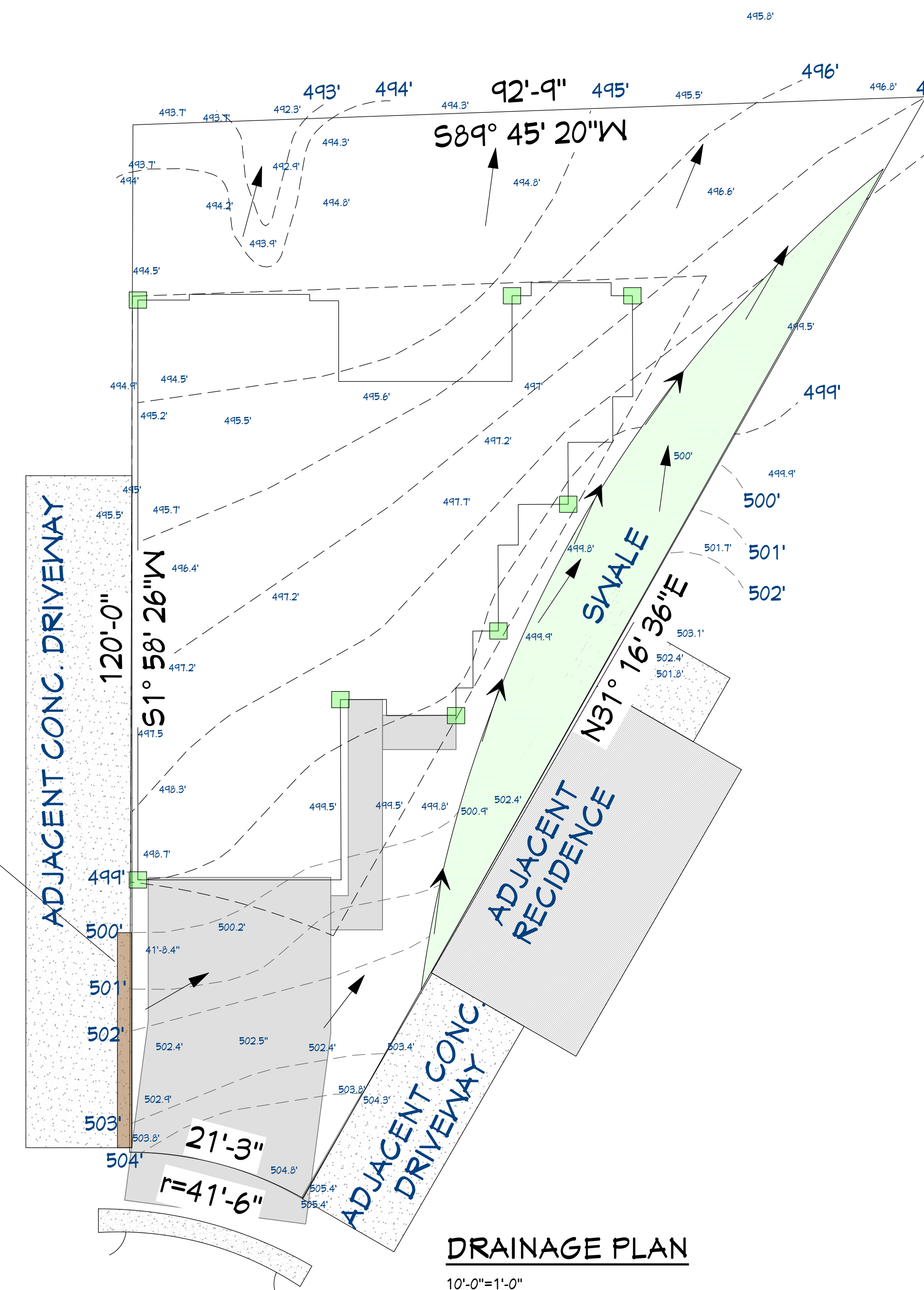
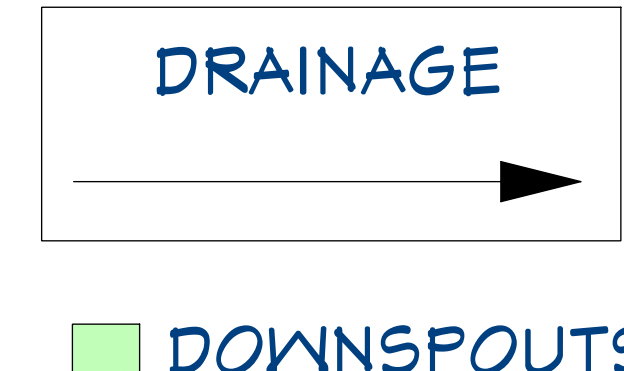
NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

DEFINITIONS:
CONTINUOUS INSPECTION: THE SPECIAL INSPECTOR IS OBSERVING THE WORK REQUIRING SPECIAL INSPECTION AT ALL TIMES.
PERIODIC INSPECTION: THE SPECIAL INSPECTOR IS ON SITE AS REQUIRED TO CONFIRM THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF ARCHIMATRIX, LLC. DEVELOPED FOR THE EXCLUSIVE USE OF ARCHIMATRIX, LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF YOUR COMPANY NAME HERE IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.



FOOTPRINT= 2,609
LOT= 6,784
COVERAGE= 38%



LOT: 16, BLOCK: E
SUBDIVISION: CHANDLERS LANDING, PH. 16
ADDRESS: 2415 VICTORY LANE
CITY: STATE: ROCKWALL, TX
COUNTY: ROCKWALL

RESIDENCE FOR:
WARDLOW

WHITTLE & JOHNSON
CUSTOM HOMES

DATE:

5/3/20

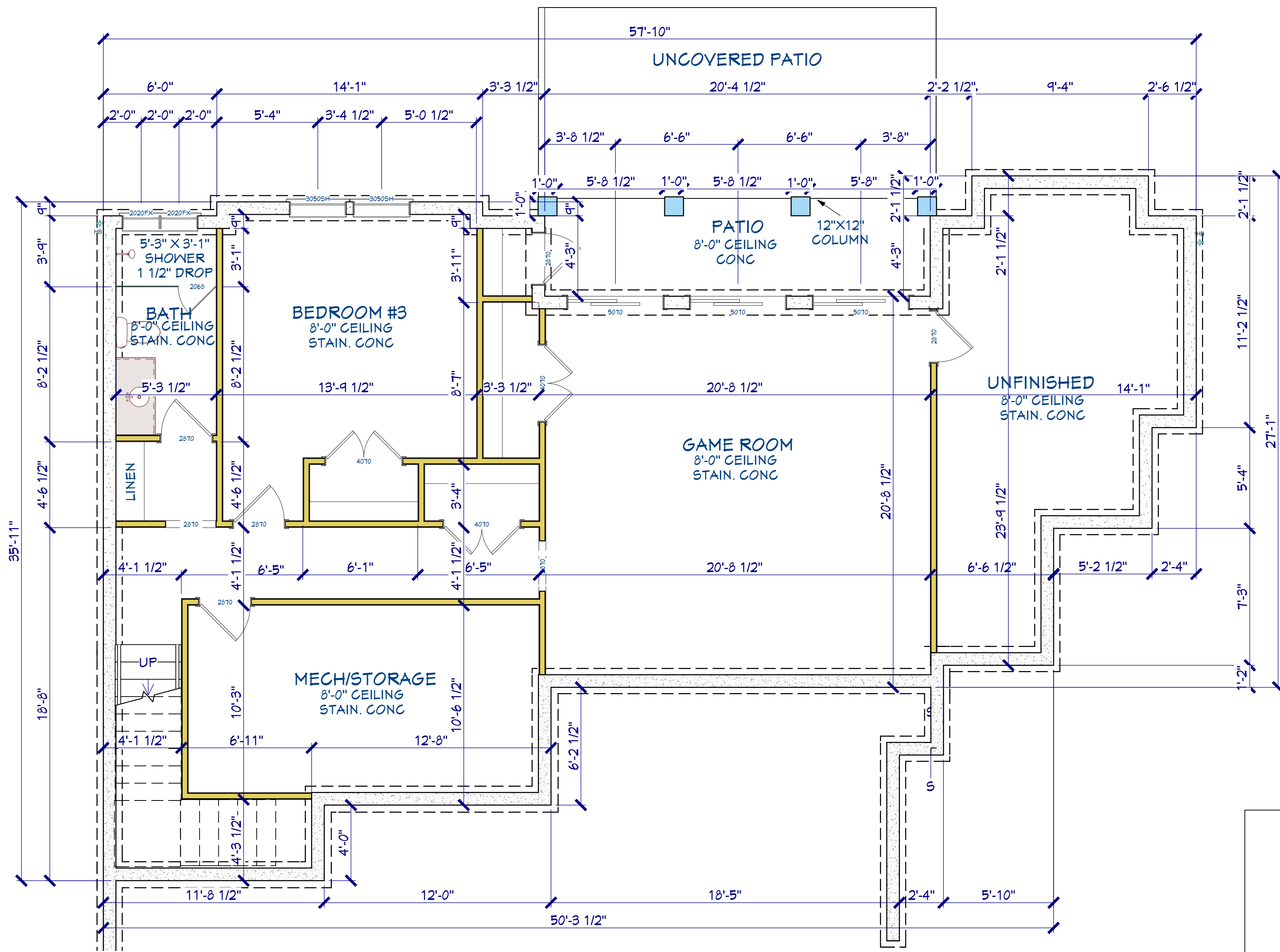
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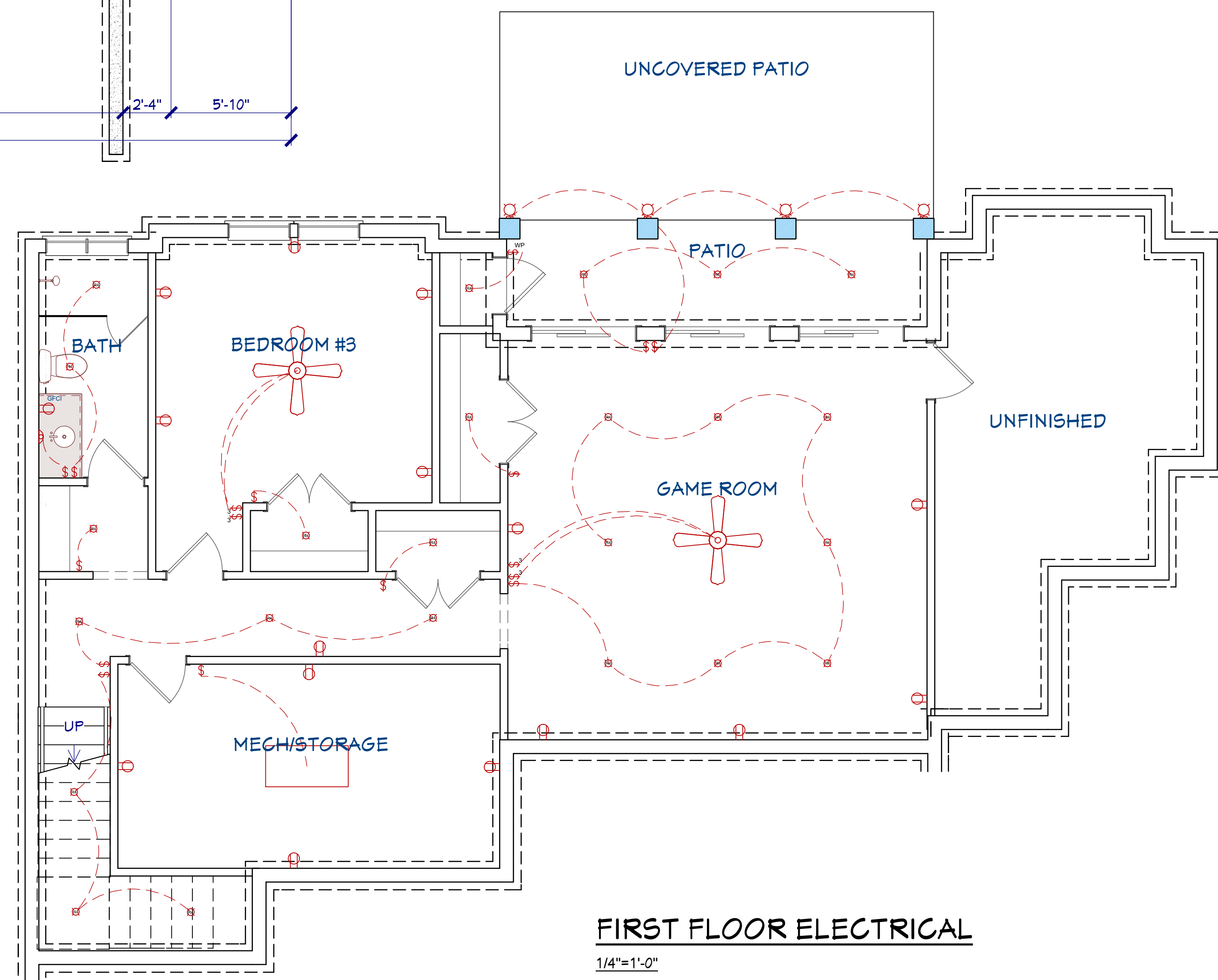
FIRST FLOOR

1/4"=1'-0"

SQUARE FOOTAGES	
1ST FLOOR	1498
2ND FLOOR	2010
TOTAL AIR CONDITIONED	3508
PORCH	90
PATIO	434
GARAGE	512
TOTAL UNDER ROOF	4544

DOOR SCHEDULE				
LABEL	QTY	FLOOR	SIZE	DESCRIPTION
2068	1	0	2068 L	SHOWER-GLASS SLAB
2068	1	1	2068 R	SHOWER-GLASS SLAB
2080	2	1	2080 L IN	HINGED-DOOR F03
2080	1	1	2080 L IN	HINGED-GLASS SLAB
2080	1	1	2080 R	2 DR. BIFOLD-LOUVERED
2080	2	1	2080 R IN	HINGED-DOOR F03
2680	1	1	2680 L/R IN	DOUBLE HINGED-DOOR F03
2868	1	1	2868 L	BARN-DOOR F03
2870	2	0	2870 L IN	HINGED-DOOR F03
2870	1	0	2870 R EX	EXT. HINGED-DOOR E02
2870	2	0	2870 R IN	HINGED-DOOR F03
2880	1	1	2880 L	POCKET-DOOR F03
2880	1	1	2880 L EX	EXT. HINGED-DOOR E02
2880	3	1	2880 L IN	HINGED-DOOR F03
2880	1	1	2880 R	POCKET-DOOR F03
2880	2	1	2880 R IN	HINGED-DOOR F03
3068	1	1	3068 R EX	EXT. HINGED-DOOR P01
3080	1	1	3080 R EX	EXT. HINGED-DOOR E02
4070	3	0	4070 L/R IN	DOUBLE HINGED-DOOR F03
5070	1	0	5070 L EX	EXT. SLIDER-GLASS PANEL
5070	2	0	5070 R EX	EXT. SLIDER-GLASS PANEL
9070	2	1	9070	GARAGE-PANEL

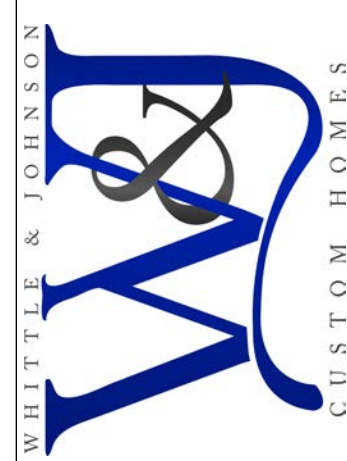
WINDOW SCHEDULE					
LABEL	QTY	FLOOR	SIZE	DESCRIPTION	TOP
1010FX	1	1	1010FX	FIXED GLASS	98 1/2"
1068FX	1	1	1068FX	FIXED GLASS	80"
2020FX	2	0	2020FX	FIXED GLASS	84"
2020FX	2	1	2020FX	FIXED GLASS	80"
2020FX	3	1	2020FX	FIXED GLASS	87"
2030FX	1	2	2030FX	FIXED GLASS	58"
2626SC	3	1	2626SC	SINGLE CASEMENT-HR	102"
2626SC	3	2	2626SC	SINGLE CASEMENT-HR	90"
2630SH	1	1	2630SH	SINGLE HUNG	84"
2660SH	1	1	2660SH	SINGLE HUNG	96"
2660SH	1	1	2660SH	SINGLE HUNG	80"
3010FX	6	1	3010FX	FIXED GLASS	111"
3010FX	1	1	3010FX	FIXED GLASS	98 1/2"
3050SH	2	0	3050SH	SINGLE HUNG	84"
3060DH	2	1	3060DH	DOUBLE HUNG	80"
3060SH	2	1	3060SH	SINGLE HUNG	84"
3060SH	4	1	3060SH	SINGLE HUNG	96"
4020DC	1	1	4020DC	DOUBLE CASEMENT-LHL/RHR	84"



FIRST FLOOR ELECTRICAL

1/4"=1'-0"

Electrical Schedule			
2D Symbol	Qty	Floor	Description
	2	0	Basic Ceiling Fan
	4	0	Caged Lantern Sconce
	15	0	Duplex
	1	0	GFCI
	1	0	Medium Double Surface Mounted Tube Light [48Wx21D] [48Wx21D]
	1	0	Nicosia
	24	0	Recessed Down Light 4
	12	0	Single Pole
	4	0	Three Way
	1	0	Weatherproof
	3	1	Arts & Crafts Pendant
	5	1	Basic Ceiling Fan
	1	1	Clothes Dryer
	2	1	Drizzle Round Chandelier
	46	1	Duplex
	4	1	Duplex (weatherproof)
	3	1	Four Way
	3	1	GFCI
	1	1	Garbage Disposal
	2	1	Medium Double Surface Mounted Tube Light [48Wx21D] [48Wx21D]
	2	1	Medium Surface Mounted Tube Light [48Wx9D] [48Wx9D]
	2	1	Narciss Sconce
	4	1	Nicosia
	50	1	Recessed Down Light 4
	28	1	Single Pole
	1	1	Single Pole Dimmer
	10	1	Three Way



LOT: 16, BLOCK: E
 SUBDIVISION: CHANDLERS LANDING, PH. 16
 ADDRESS: 2415 VICTORY LANE
 CITY, STATE: ROCKWALL, TX
 COUNTY: ROCKWALL

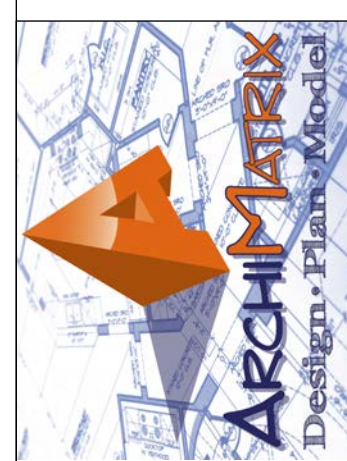
RESIDENCE FOR:
WARDLOW

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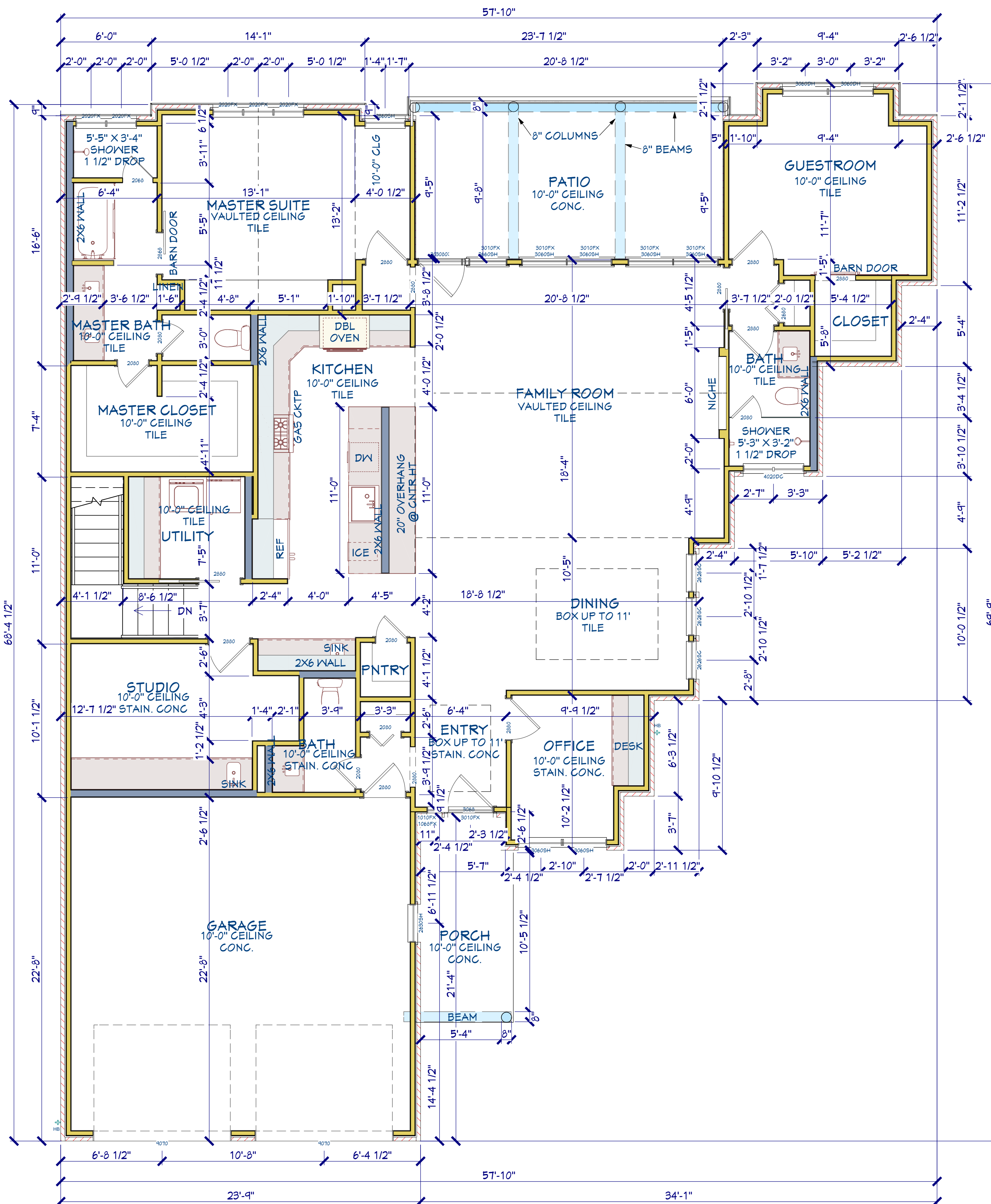
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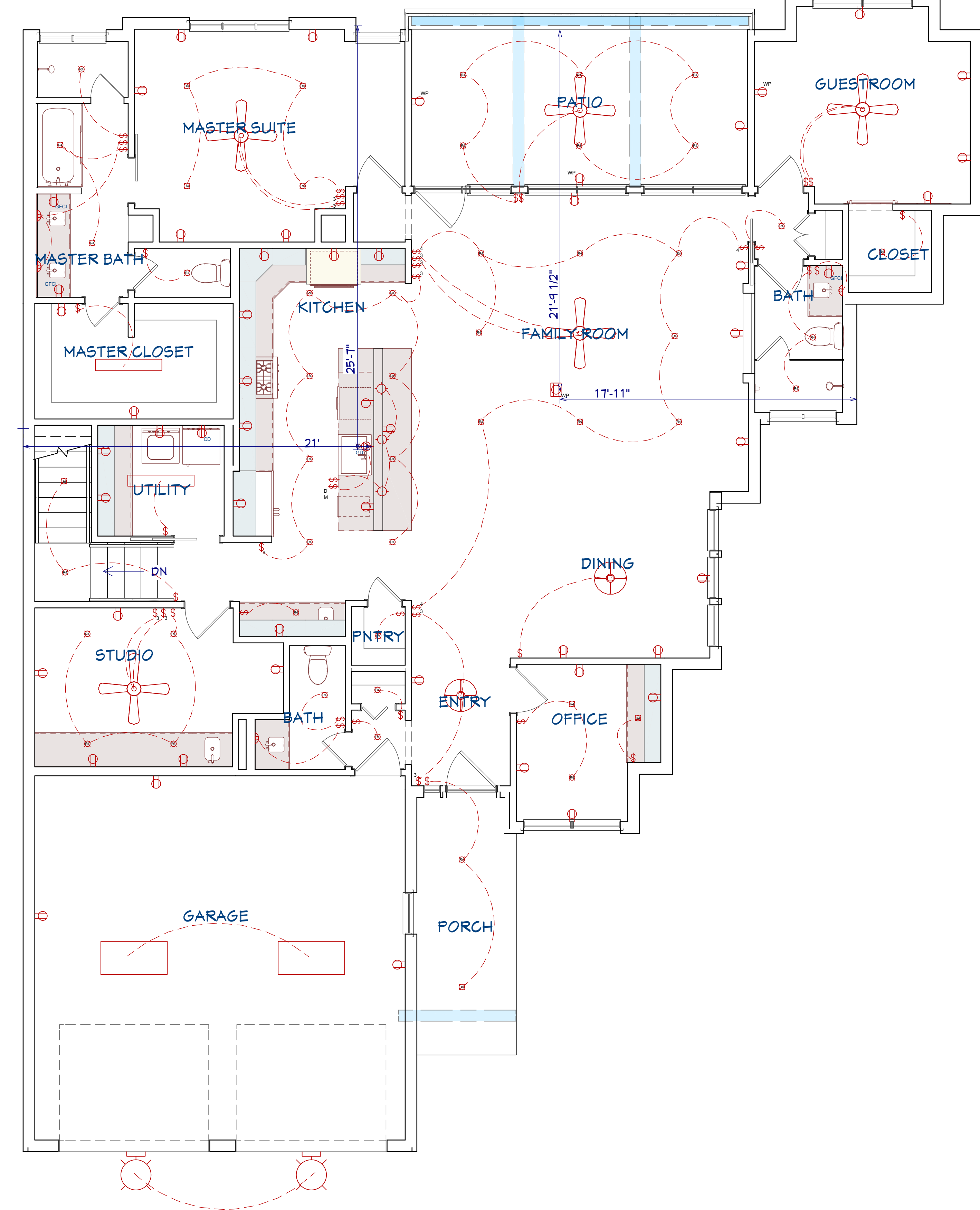
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SECOND FLOOR
1/4"=1'-0"



SECOND FLOOR ELECTRICAL
1/4"=1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
246 Victory Lane	Single-Family Home	2004	3,646	N/A	Brick
247 Victory Lane	Single-Family Home	2004	3,106	N/A	Stone & Brick
251 Victory Lane	Single-Family Home	2000	2,344	N/A	Brick
253 Victory Lane	Single-Family Home	1994	2,629	N/A	Brick
256 Victory Lane	Single-Family Home	2012	3,528	N/A	Brick
257 Victory Lane	Single-Family Home	2014	3,168	N/A	Stucco
262 Victory Lane	Single-Family Home	2000	2,628	N/A	Brick
264 Victory Lane	Single-Family Home	1994	2,205	N/A	Brick
268 Victory Lane	Single-Family Home	1995	2,496	N/A	Brick
272 Victory Lane	Single-Family Home	1997	1,788	N/A	Brick
281 Victory Lane	Single-Family Home	1995	3,001	N/A	Brick
284 Victory Lane	Single-Family Home	2003	2,462	N/A	Brick
285 Victory Lane	Single-Family Home	1994	1,897	N/A	Brick
289 Victory Lane	Single-Family Home	2007	2,307	N/A	Brick
291 Victory Lane	Single-Family Home	2005	2,057	N/A	Stucco
293 Victory Lane	Single-Family Home	1993	2,153	N/A	Brick
295 Victory Lane	RCAD Indicates Vacant		Subject Property		N/A
297 Victory Lane	Single-Family Home	2002	2,661	N/A	Brick
299 Victory Lane	Single-Family Home	2007	2,262	N/A	Brick
306 Victory Lane	Single-Family Home	2004	3,047	N/A	Brick
307 Victory Lane	Single-Family Home	2004	2,589	N/A	Stone & Brick
310 Victory Lane	Single-Family Home	1995	2,002	N/A	Brick
	Averages:	2001	2,570		



246 Victory Lane



247 Victory Lane



251 Victory Lane



253 Victory Lane



256 Victory Lane



257 Victory Lane



262 Victory Lane



264 Victory Lane



268 Victory Lane



272 Victory Lane



281 Victory Lane



284 Victory Lane



285 Victory Lane



289 Victory Lane



291 Victory Lane



293 Victory Lane



295 Victory Lane



297 Victory Lane



299 Victory Lane



306 Victory Lane



307 Victory Lane



310 Victory Lane

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.15-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK E, CHANDLER'S LANDING, PHASE 16, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.15-acre parcel of land being described as Lot 24, Block E, Chandler's Landing, Phase 16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF DECEMBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

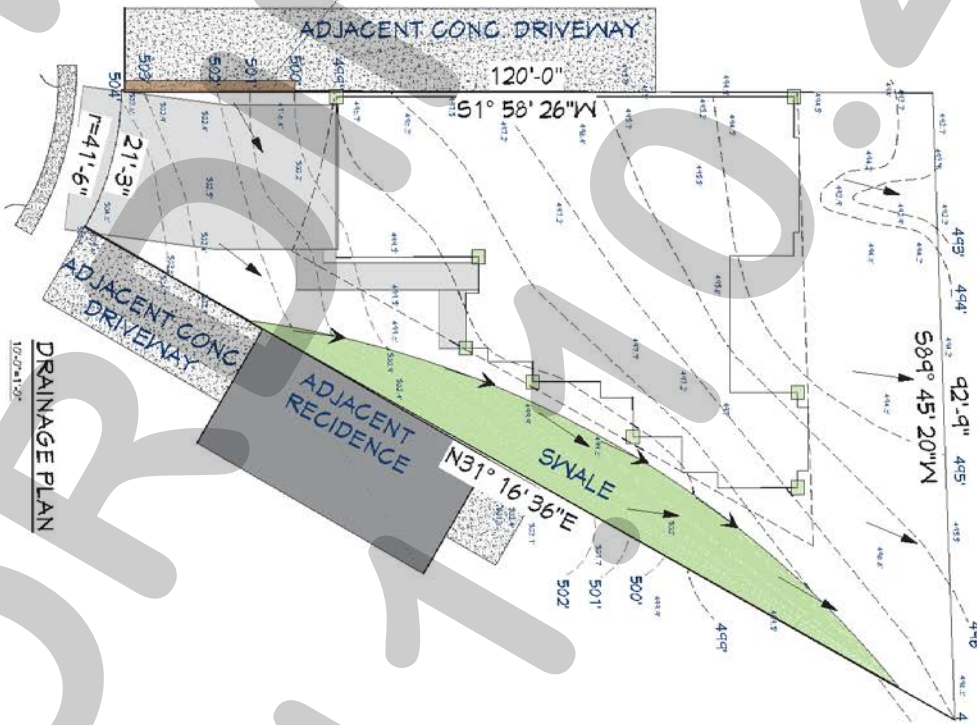
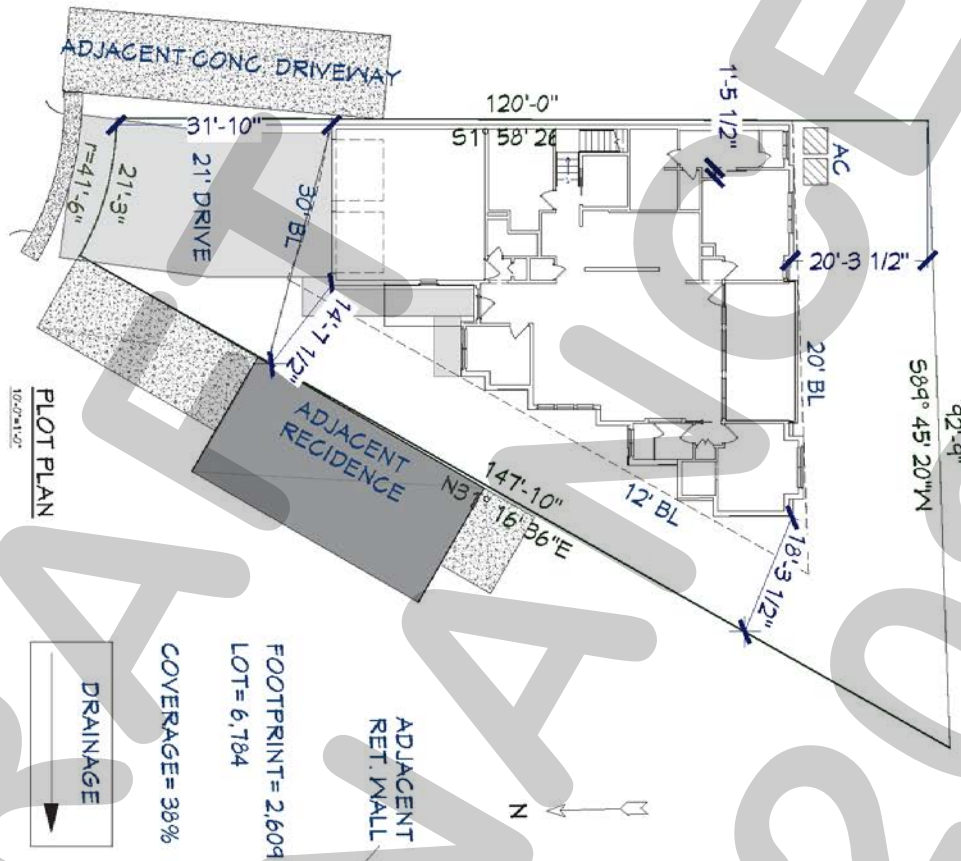
Exhibit 'A'
Location Map and Survey

Address: 295 Victory Lane

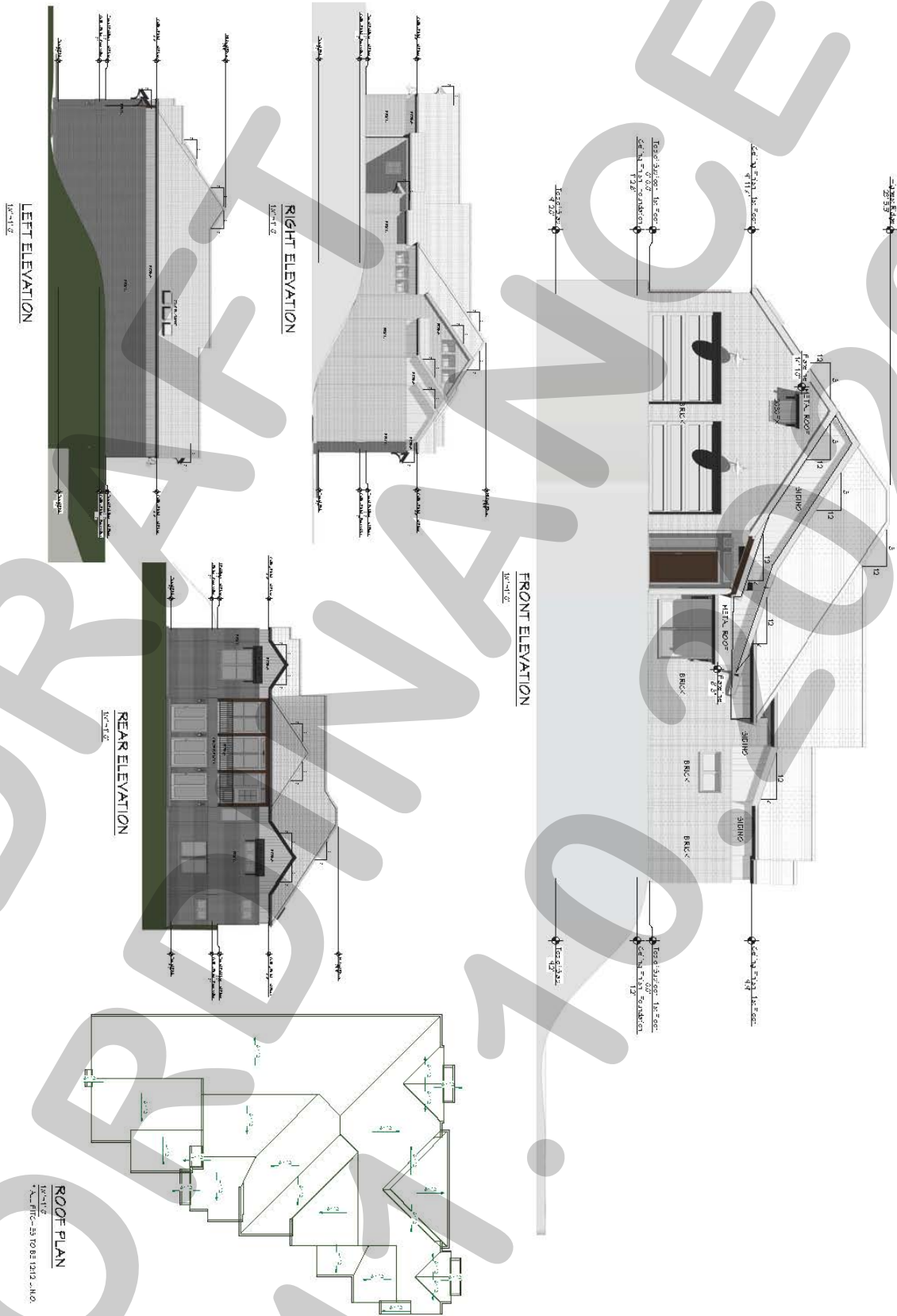
Legal Description: Lot 24, Block E, Chandler's Landing, Phase 16



Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Mitchell Fielding; *F2 Capital Partners, LLC*
CASE NUMBER: Z2020-047; *Zoning Change (AG to PD) for the Walker Estates Addition*

SUMMARY

Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on January 18, 2011 by *Ordinance No. 11-03 [Case No. A2010-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and has remained vacant since its annexation.

PURPOSE

The applicant -- *Mitchell Fielding of F2 Capital Partners, LLC* -- is requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development (PD) District for Single-Family 1 (SF-1) District land uses for the purpose of constructing 18 single-family residential homes that will be a minimum of one (1) acre in size.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of the intersection of FM-1141 and Clem Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Clem Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is the corporate limits of the City of Rockwall followed by property situated within the City's Extraterritorial Jurisdiction (ETJ). This unincorporated area is situated in the S. S. McCurry Survey, Abstract No. 146 and in the J. L. Peoples Addition (*i.e. a subdivision platted in 1989 and consisting of 15 single-family homes*). Also north of the subject property is the Saddlebrook Estates Subdivision, which is located within the City's corporate limits and is zoned for Single-Family 16 (SF-16) District. This subdivision consists of 45 single-family, residential lots on 51.47-acres.

South: Directly south of the subject property is the corporate boundaries of the City of Rockwall followed by property situated within the City's Extraterritorial Jurisdiction (ETJ). Within this area is the Meadow View Ranch Estates Subdivision, which was established in 1977 and consists of 24 single-family, residential lots on 38.97-acres. Beyond this is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. South of this thoroughfare are three (3) tracts of land totaling 36.888-acres (*i.e. Tract 13-01, Tract 25-1, and Tract 26 of the WM Dalton Survey, Abstract No. 72*), which is zoned Agricultural (AG) District.

East: Directly east of the subject property is a 12-acre tract of land (i.e. *Tract 17, of the WM Dalton Survey, Abstract 72*) that was annexed with the subject property, has a single-family home situated on it. This property is zoned Agricultural (AG) District. Beyond this tract of land is an unincorporated 20.72-acre tract of land (i.e. *Tract 22 of the WM Dalton Survey, Abstract No. 72*) that is currently under a 212 Development Agreement (Case No. A2010-002) that is set to expire on January 19, 2025. Continuing east are four (4) properties zoned Agricultural (AG) District and Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses.

West: Directly west of the subject property is the corporate limits of the City of Rockwall. Beyond this is FM-1141, which is identified as an M4D (i.e. *major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is property situated within the City's Extraterritorial Jurisdiction (ETJ) that is located in the S. S. McCurry Survey, Abstract No. 146 and that has established single-family homes situated on it. Continuing west of these properties is John King Boulevard, which is identified as a P6D (i.e. *principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting a change in zoning from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses. The concept plan for the proposed development shows that the 26.012-acre subject property will consist of 18 single-family residential lots with a minimum lot size of 43,560 SF (i.e. *one [1] acre*) and will be a minimum lot dimension of 120' x 200' per the concept plan. The proposed minimum size of each dwelling unit (i.e. *air conditioned space*) will be 2,500 SF. The applicant has stated that the homes will be custom built homes and will vary from lot to lot. The proposed housing product will have a minimum masonry requirement of 90% -- *with the front façade being 100% masonry* -- with up to 50% cementitious fiberboard horizontal lap siding (e.g. *HardiBoard or Hardy Plan*) and stucco (i.e. *three [3] part stucco or a comparable product*) being permitted. The proposed housing product will conform to the new anti-monotony requirements established by the City Council in September 2019, and will allow for both *traditional swing* (i.e. *j-swing*) and flat front entry (i.e. *the garage door is even with the front façade of the primary structure*) garage configurations. All garage doors will incorporate upgraded finishes (e.g. *divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative*). The development will limit the number of home sites with a flat front entry garage configuration to a maximum of 20% (or four [4] homes), with these homes being required to extend the driveway to a minimum of 25-feet in length. The development will incorporate less than the required 20% open space (i.e. ~12.19%); however, it will have a 30-foot landscape buffer adjacent to FM-1141 and Clem Road that will incorporate ground cover, a built-up berm and shrubbery, and trees and a five (5) foot meandering sidewalk along all frontages. In addition, the applicant has stated that by virtue of the development incorporating larger lots without stockade or solid fencing, it will achieve the same feel as more dense developments that incorporate the required 20% open space, and will have a total density of 0.69 units per gross acre. The proposed Planned Development District (PD) will be subject to the land uses and requirements stipulated for the Single-Family 1 (SF-1) District. A summary of the proposed development is as follows:

<i>Lot Type (see Concept Plan) ►</i>	A
<i>Minimum Lot Width ⁽¹⁾</i>	120'
<i>Minimum Lot Depth</i>	200'
<i>Minimum Lot Area</i>	43,560 SF
<i>Minimum Front Yard Setback ^{(2), (5) & (6)}</i>	50'
<i>Minimum Side Yard Setback</i>	25'
<i>Minimum Side Yard Setback (Adjacent to a Street) ^{(5) & (7)}</i>	30'
<i>Minimum Length of Driveway Pavement</i>	70'
<i>Maximum Height ⁽³⁾</i>	38'
<i>Minimum Rear Yard Setback ⁽⁴⁾</i>	30'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF
<i>Maximum Lot Coverage</i>	20%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.

- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: Flat front entry garage configurations are permitted on up to 20% of the total amount of lots provided the front yard building setback is increased to a minimum of 25-feet.
- 7: This includes lots that side to Clem Road or FM-1141.

INFRASTRUCTURE

Based on the applicant's concept plan and proposed density, the following infrastructure will be required to be constructed to provide adequate public services for the proposed development:

Water. The subject property is currently served by Mr. Zion Water Supply Corporation, which affords the applicant the option of pursuing water from this Certificate of Convenience and Necessity (CCN) holder or opting out of the CCN in favor of City water. Regardless, the applicant will need to loop an eight (8) inch water line through the site.

Wastewater. The Master Wastewater Plan indicates that there is no wastewater infrastructure in the vicinity. In addition, there are no immediate plans for the City to install infrastructure in this area. As a result, the applicant must get approval from the City Council in order to utilize septic systems to serve the development. According to Section 44-243(c), of Article V, of the City's Municipal Code of Ordinances, "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property of less than 1½-acres, unless an exception is granted by the City Council on the grounds that an undue hardship will be created if said lot is not connected to an OSSF." In this case, the applicant is requesting the exception due to the distance of the subject property from existing City sewer facilities. Staff has estimated that the subject property is approximately one (1) mile to the closest City sewer line located in the Caruth Lakes Subdivision (*near the intersection of Phelps Lake Drive and FM-1141*). In addition, the applicant would be required to upgrade the lift station in this area to ensure that it can properly provide adequate sewage facilities for this development. Should the City Council choose to grant the requested exception the applicant will be required to submit a septic system plan, designed by a licensed OSSF professional, on a lot-by-lot basis at the time of building permit.

Stormwater. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing pond.

Roadways. According to the Master Thoroughfare Plan, Clem Road is indicated as a *Minor Collector*, which requires a 60-foot right-of-way with a 41-foot *back-to-back* concrete street. Based on this requirement, the applicant is required to dedicated 30-feet of right-of-way and construct a minimum of 24-feet of right-of-way for the entire length of the property along Clem Road. FM-1141 is indicated as a M4D (*minor collector, four (4) lane, divided roadway*), which requires 85-foot of right-of-way. This will necessitate the applicant to dedicate 42.5-feet from the centerline of FM-1141 for the future expansion of this roadway.

All proposed infrastructure improvements must meet the Engineering Department's *Standards of Design and Construction*.

CONFORMANCE WITH THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- ☑ The Engineering Department's *Standards of Design and Construction Manual* stipulates that, "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete ..."; however, the code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." (*Section 2.11; Page 14*)

- ☑ The Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street." (*Sec. 4.1; Art. VI; UDC*)
- ☑ According to Section 1.2, *Nature of PD Districts and Minimum Standards*, of Article X, *Planned Development Regulations*, of the UDC, "...(u)nless otherwise provided by the PD Ordinance, a minimum of 20 percent of the gross land area within the entire PD District shall be devoted to open space."

In this case, the applicant is proposing to allow traditional swing and flat front entry garages in lieu of alleyways. All flat front entry garages will be setback either [1] behind the width of a double garage that is accessed from a traditional swing or [2] flush with the front façade of the home for the standard flat front entry garages. As a compensatory measure for the flat front entry garages, the applicant is requiring that these lots incorporate a 25-foot front yard building setback and that all garage doors -- *regardless of garage orientation* -- incorporate upgraded finishes (*e.g. divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors or a similar alternative*). With regard to the open space requirement, the applicant has stated that estate style lots with non-transparent fencing provide a similar aesthetic as traditional neighborhoods that incorporate opaque fencing and 20% open space. Staff has incorporated these requirements into the draft ordinance and by recommending approval/approving this case the Planning and Zoning Commission/City Council would be waiving these requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Northeast Residential District* and is designated for *Low Density Residential (LDR)* land uses. The *Northeast Residential District* is characterized by its low-density subdivisions and rural/estate style lots. This district has several large vacant tracts of land that are suitable for low-density residential development, and it is anticipated that this district will be a future growth center for the City. The *Low Density Residential (LDR)* land use category consists of residential subdivisions that are two (2) units per gross acre or less. Primary land uses in this district are suburban, estate, and rural developments. In this case, the development is an estate style subdivision with a density of 0.79 units per gross acre. The proposed development is substantially in conformance to intent of the *Northeast Residential District* and the *Low Density Residential (LDR)* land use designation.

In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (*i.e. 80% Residential; 20% Commercial*) in order to maintain a balance mix of land uses for fiscal sustainability." The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.49% residential to 24.51% non-residential. If the City Council chooses to approve this case -- *since this case is proposing zoning in conformance to the Land Use Plan* -- the ratio will remain the same. A more detailed view of the current and proposed land use ratios has been included in the attached packet. With all this being said, zoning requests are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 21, 2020, staff sent 17 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA's) or neighborhood groups within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received one (1) notice in favor of this request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance; and,
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address CLEM RD @ FM 1141

Subdivision

Lot

Block

General Location SOUTHEAST CORNER OF CLEM ROAD AND FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use AGRICULTURE

Proposed Zoning PLANNED DEVELOPMENT

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 26.012

Lots [Current] 1

Lots [Proposed] 18

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Alex Freeman

Applicant F2 Capital Partners, LLC

Contact Person Alex Freeman

Contact Person Mitchell Fielding and/or Michael Fielding

Address 18740 Wainborough Ln

Address 4232 Ridge Road, Suite 104

City, State & Zip Dallas, TX 75287

City, State & Zip Heath, TX 75032

Phone 469-233-4774

Phone 214-225-4700

E-Mail afreeman@pinnaclemonte.com

E-Mail mitchell@f2capital.com and michael@f2capital.com

NOTARY VERIFICATION [REQUIRED]

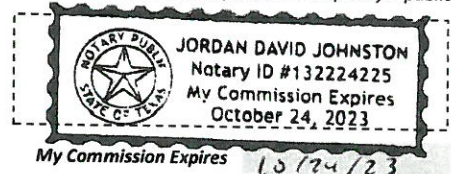
Before me, the undersigned authority, on this day personally appeared ALEX FREEMAN [Owner] the undersigned, who stated the information on this application to be true and certified the following:

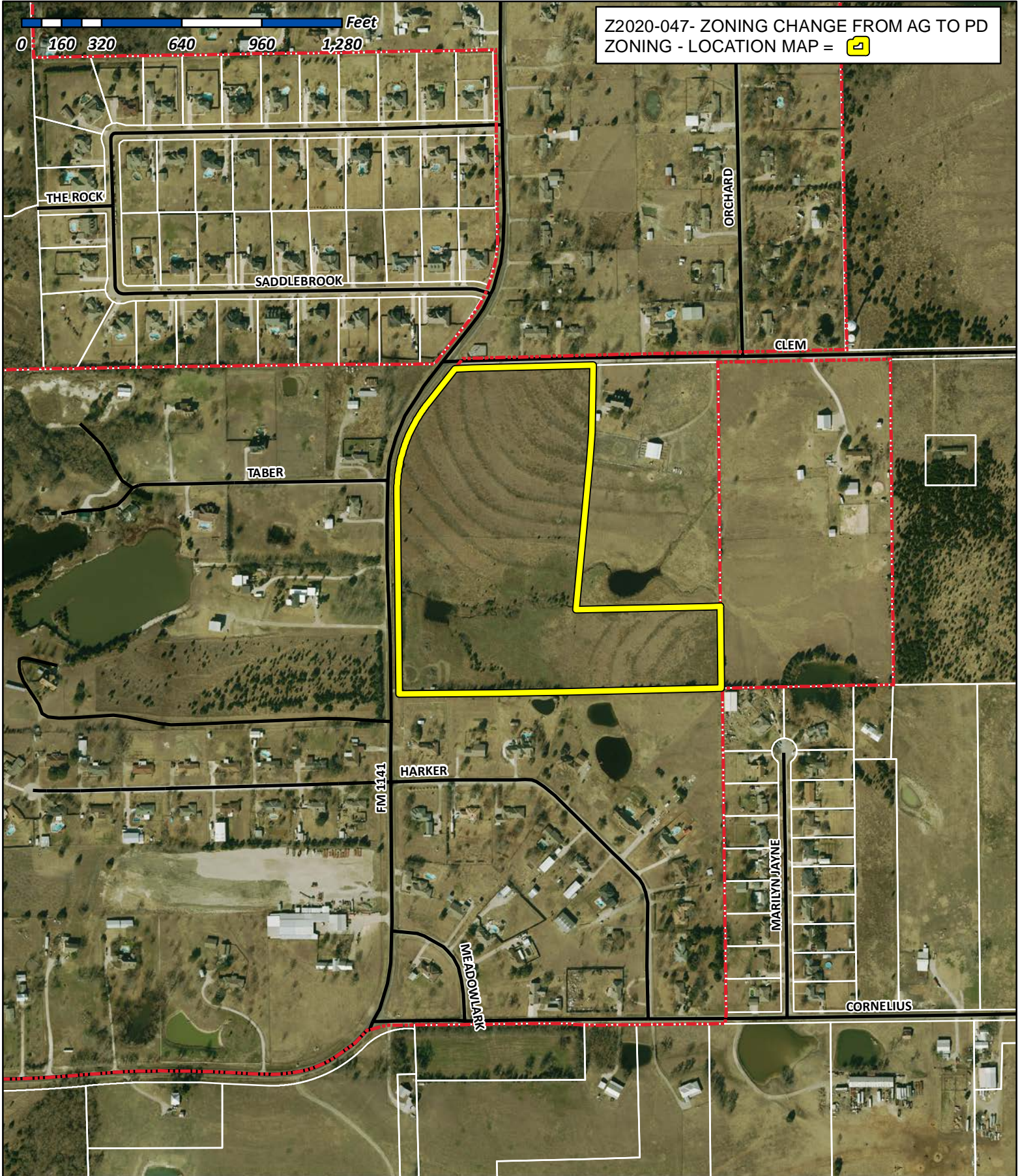
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of OCTOBER, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 15 day of OCTOBER, 2020.

Owner's Signature *[Signature]*

Notary Public in and for the State of Texas *[Signature]*





Z2020-047- ZONING CHANGE FROM AG TO PD
 ZONING - LOCATION MAP = [yellow square icon]

0 160 320 640 960 1,280 Feet



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

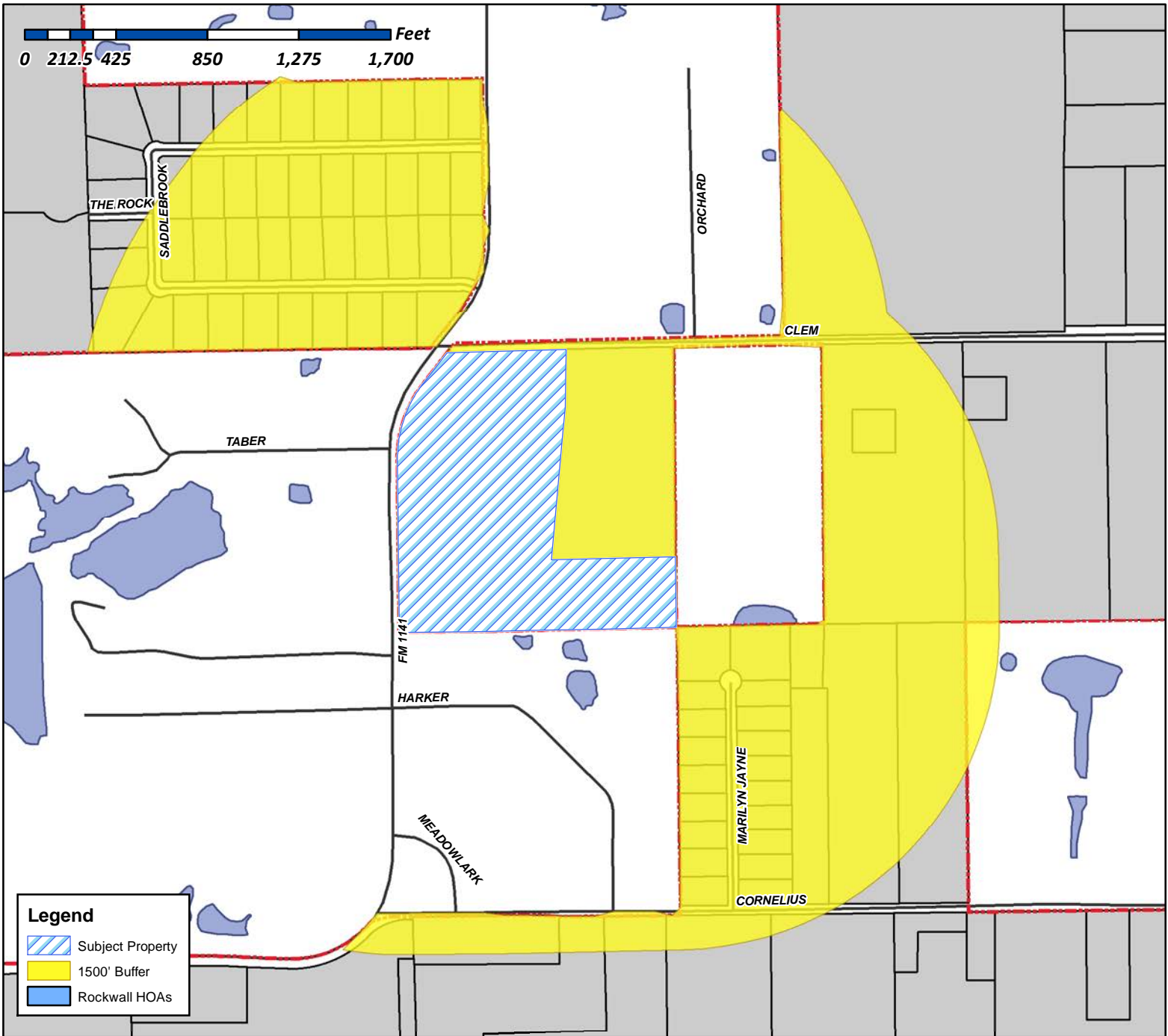




City of Rockwall

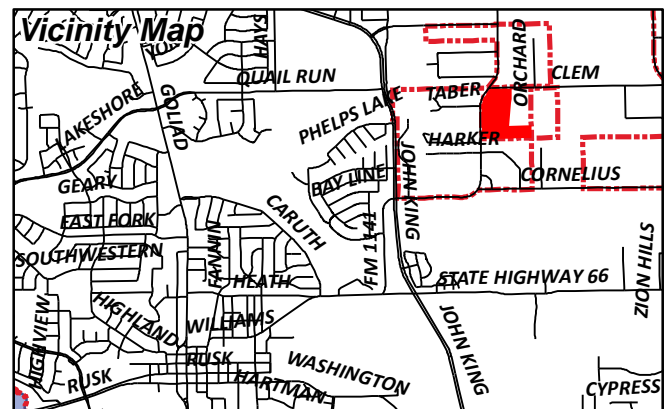
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Case Number: Z2020-047
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SEC of Clem Road and FM 1141

Date Created: 10/19/2020
For Questions on this Case Call (972) 771-7745

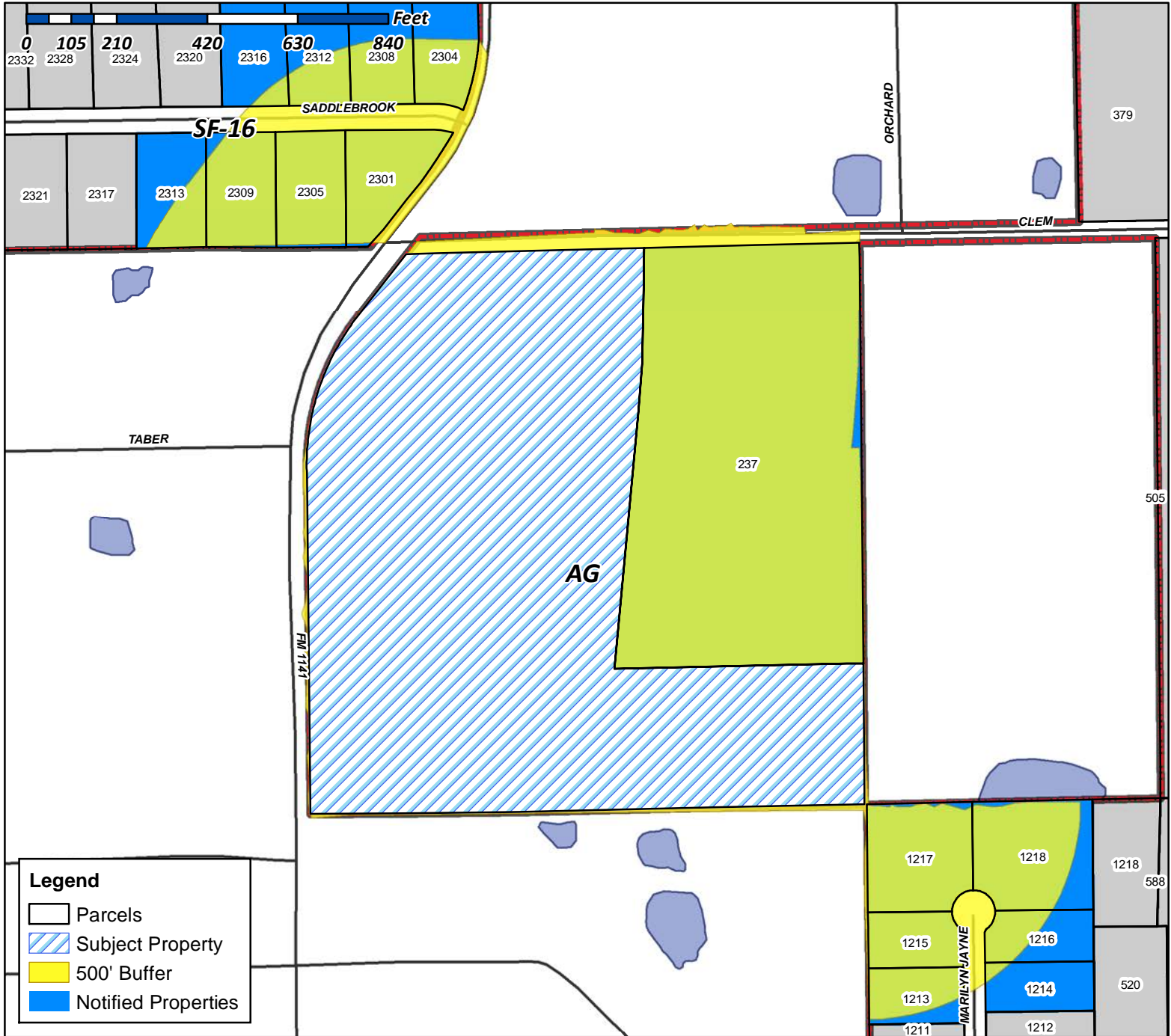




City of Rockwall

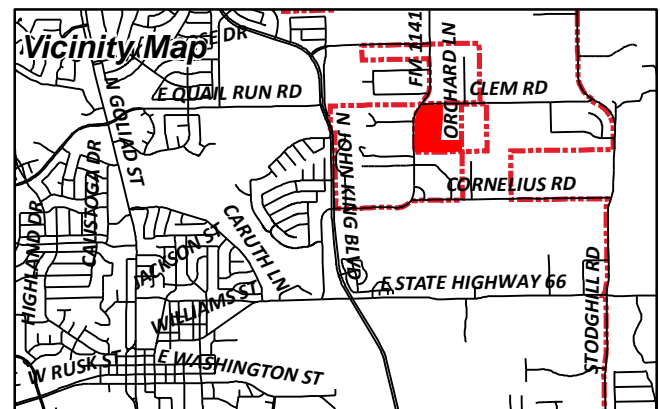
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For Questions on this Case Call (972) 771-7745



VASUNDHARA REDDY K AND
ALEX R FREEMAN
CLEM RD @ FM1141
ROCKWALL, TX 75087

BERGERHOUSE PHILLIP & KERRI
1213 MARILYN JAYNE DR
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

CONFIDENTIAL
1215 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M
1216 MARILYN JAYNE DR
ROCKWALL, TX 75087

KELLY JAMES B & DEA S
1217 MARILYN JAYNE DR
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS
1218 MARILYN JAYNE DR
ROCKWALL, TX 75087

CULP TERRI L
2301 SADDLEBROOK LN
ROCKWALL, TX 75087

MURPHEY HARVEY W & BETTY J
2304 SADDLEBROOK LN
ROCKWALL, TX 75087

OSBORNE AARON & BARBARA
2305 SADDLEBROOK LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2308 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES JAMES E
2309 SADDLEBROOK LN
ROCKWALL, TX 75087

SMITH WILLIAM CLEVE JR &
EDITH LILLIAN
2312 SADDLEBROOK LN
ROCKWALL, TX 75087

ROMERO MARGARET ALLEN-
2313 SADDLEBROOK LANE
ROCKWALL, TX 75087

LLOYD DANIEL AND REBECCA R
2316 SADDLEBROOK LANE
ROCKWALL, TX 75087

M G & J K TAYLOR LIVING TRUST
MARK G TAYLOR AND JESSICA K TAYLOR-
TRUSTEES
237 CLEM ROAD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-047: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the approval of a Zoning Change form an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 10, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 16, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 16, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-047: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

*James (Jim) & Dea Kelly
1217 Marilyn Jayne
Rockwall, TX 75087*

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-047: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

City does a good job & we trust their judgement.

Name:

James & Dea Kelly

Address:

1217 Marilyn Jayne

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

THE SURVEY SET FORTH HEREON HAS BEEN CONDUCTED AND PREPARED AT THE REQUEST AND IN CONJUNCTION WITH THE INFORMATION PROVIDED BY THE CLIENT OR REPRESENTATIVES THEREOF. BG&A LAND SURVEYING, INC. HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR THE EXISTENCE OF EASEMENTS, RESTRICTIONS, ENCUMBRANCES OR OTHER FACTS OR MATTERS THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEY SET FORTH HEREON IS NOT TO BE RELIED UPON FOR FUTURE CONSTRUCTION PURPOSES. CONTACT ALL GOVERNING AUTHORITIES (MUNICIPALITIES, UTILITY AGENCIES, ASSOCIATIONS, ETC.) PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE TEXAS EXCAVATION SAFETY SYSTEM CAN BE CONTACTED BY CALLING 811. CALL BEFORE YOU DIG.

PROPERTY DESCRIPTION

STATE OF TEXAS:
COUNTY OF ROCKWALL:

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72, ROCKWALL COUNTY, TEXAS, BEING A PART OF THAT CERTAIN TRACT OF LAND CONVEYED TO GLEN D. WALKER AND WIFE, NITA A. WALKER, RECORDED IN VOLUME 542, PAGE 12, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 60D NAIL FOUND FOR CORNER AT THE INTERSECTION NEAR THE CENTER OF CLEM ROAD AND THE RECOGNIZED SOUTHEAST LINE OF F. M. HIGHWAY 1141, SAID POINT BEING THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 06 MINUTES 09 SECONDS EAST, WITHIN SAID CLEM ROAD AND THE RECOGNIZED NORTH LINE OF SAID WALKER TRACT, A DISTANCE OF 533.77 FEET TO A POINT FOR CORNER, SAID POINT BEING THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT AND THE NORTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO MARK G. AND JESSICA K. TAYLOR, RECORDED IN VOLUME 7106, PAGE 191, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 01 DEGREES 23 MINUTES 21 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, PASSING A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR WITNESS AT A DISTANCE OF 17.18 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 283.63 FEET TO A 4 INCH METAL FENCE CORNER FOR ANGLE POINT;

THENCE SOUTH 05 DEGREES 06 MINUTES 43 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, A DISTANCE OF 113.32 FEET TO A 4 INCH METAL FENCE CORNER FOR ANGLE POINT;

THENCE SOUTH 05 DEGREES 35 MINUTES 13 SECONDS WEST, ALONG THE WEST LINE OF SAID TAYLOR TRACT, A DISTANCE OF 597.75 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER, SAID POINT BEING AN INNER ELL CORNER OF HEREIN DESCRIBED TRACT AND THE SOUTHWEST CORNER OF SAID TAYLOR TRACT;

THENCE NORTH 89 DEGREES 06 MINUTES 09 SECONDS EAST, ALONG THE SOUTH LINE OF SAID TAYLOR TRACT, A DISTANCE OF 574.09 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER IN THE WEST LINE OF A TRACT OF LAND CONVEYED TO ALLEN AND LISA STEVENSON, RECORDED IN VOLUME 171, PAGE 885, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE SOUTHEAST CORNER OF SAID TAYLOR TRACT AND THE MOST SOUTHERLY NORTHEAST CORNER OF HEREIN DESCRIBED TRACT;

THENCE SOUTH 00 DEGREES 06 MINUTES 20 SECONDS EAST ALONG THE RECOGNIZED EAST LINE OF SAID WALKER TRACT AND THE WEST LINE OF SAID STEVENSON TRACT A DISTANCE OF 334.12 FEET TO A 3/8 INCH IRON ROD FOUND FOR CORNER, THE APPARENT NORTHEAST CORNER OF LOT 5 OF MEADOWVIEW RANCH ESTATES, RECORDED IN CABINET A, SLIDE 247, PLAT RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE RECOGNIZED SOUTHEAST CORNER OF SAID WALKER TRACT AND THE APPARENT SOUTHWEST CORNER OF SAID STEVENSON TRACT;

THENCE SOUTH 89 DEGREES 13 MINUTES 16 SECONDS WEST, ALONG THE RECOGNIZED SOUTH LINE OF SAID WALKER TRACT, A DISTANCE 510.41 FEET TO A 3/8 INCH IRON ROD FOUND FOR ANGLE POINT;

THENCE NORTH 89 DEGREES 58 MINUTES 55 SECONDS WEST, ALONG THE RECOGNIZED SOUTH LINE OF SAID WALKER TRACT, A DISTANCE OF 778.67 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER IN THE RECOGNIZED EAST LINE OF SAID F. M. HIGHWAY 1141, SAID POINT BEING THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT;

THENCE NORTH, ALONG THE RECOGNIZED EAST LINE OF SAID HIGHWAY, PASSING A 60D NAIL FOUND ON A WOOD HIGHWAY MONUMENT FOR WITNESS AT A DISTANCE OF 734.11 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 810.94 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 AT THE BEGINNING OF A CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 39 DEGREES 09 MINUTES 01 SECONDS, A RADIUS OF 533.14 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 19 DEGREES 34 MINUTES 34 SECONDS EAST- 357.25 FEET;

THENCE ALONG THE RECOGNIZED SOUTHEAST LINE OF SAID HIGHWAY AND SAID CURVE TO THE RIGHT AN ARC LENGTH OF 364.29 FEET TO A 1/2 INCH IRON ROD SET WITH YELLOW CAP STAMPED BG&A RPLS 5569 AT THE END OF SAID CURVE;

THENCE NORTH 39 DEGREES 09 MINUTES 00 SECONDS EAST ALONG THE RECOGNIZED SOUTHEAST LINE OF SAID HIGHWAY, A DISTANCE OF 215.67 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1,133,124.22 SQUARE FEET OR 26.012 ACRES OF LAND.

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR (BRIAN GALLIA) HEREBY CERTIFIES TO (CHICAGO TITLE, BENCHMARK TITLE, SKORBURG RETAIL CORPORATION, CLEN D. WALKER AND NITA A. WALKER), IN CONNECTION WITH THE TRANSACTION DESCRIBED IN G.F. PL15-17531 THAT, THE SURVEY AND DESCRIPTION SET FORTH HEREON WERE PREPARED FROM AN ACTUAL ON-THE-GROUND INSPECTION OF THE SUBJECT PROPERTY; SUCH SURVEY WAS CONDUCTED BY THE UNDERSIGNED, OR UNDER HIS DIRECTION; THE PLAT HEREON CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME THE SURVEY WAS PERFORMED AND IS AN ACCURATE REPRESENTATION OF THE PROFESSIONAL OPINION OF THE UNDERSIGNED; LOCATION AND DESCRIPTION OF VISIBLE AND APPARENT IMPROVEMENTS ARE AS INDICATED AND THERE ARE NO VISIBLE AND APPARENT ENCROACHMENTS OR PROTRUSIONS ON THE GROUND EXCEPT AS INDICATED; THE SURVEY SET FORTH HEREON WAS PERFORMED EXCLUSIVELY FOR THE BENEFIT OF THE ABOVE NOTED PARTIES AND TRANSACTION; ANY USE OF THIS SURVEY BY OTHER PARTIES AND/OR USE FOR ANY OTHER PURPOSE SHALL BE AT USER'S OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

EXECUTED THIS 4TH DAY OF JANUARY, 2016

Brian Gallia
BRIAN GALLIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569



ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTE: ACCORDING TO THE F.I.R.M. IN COMMUNITY PANEL NO. 48397C0035L THIS PROPERTY APPEARS TO LIE IN ZONE X AND APPEARS NOT TO LIE WITHIN THE 100 YEAR FLOOD ZONE. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON DEED RECORDED IN VOLUME 542, PAGE 12. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300

LEGEND	
	BRICK
	COVERED AREA
	CONCRETE
	WOOD DECK
	STONE
	GRAVEL/ROCK ROAD OR DRIVE
	ASPHALT PAVING
	IRF/IRS-IRON ROD FOUND/SET
	1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
	1/2" IRON ROD SET
	1" IRON PIPE FOUND
	MONUMENT FOUND
	"X" FOUND/SET
	ELECTRIC METER
	LP-LIGHT POLE
	GUY WIRE
	D&U-E- DRAINAGE & UTILITY EASEMENT
	BL- BUILDING LINE/SET BACK LINE
	CHAIN LINK FENCE
	WOOD FENCE
	BARBED/WIRE
	METAL FENCE
	PIPE FENCE
	W-W WATER LINE
	G-G GAS LINE
	ELECTRIC METER
	LP-LIGHT POLE
	GUY WIRE
	PFC-POINT FOR CORNER
	ROW- RIGHT-OF-WAY
	EASMT- EASEMENT
	AC- AIR CONDITIONING
	PE- POOL EQUIPMENT
	UGT-UNDERGROUND TELEPHONE
	CATY-UNDERGROUND CABLE TV
	TRANS-ELECTRIC TRANSFORMER
	OHP-OHP OVERHEAD POWER LINE

~BRIAN GALLIA & ASSOCIATES~
BG&A Land Surveying, Inc.
 8877 COUNTY ROAD 3609
 QUINLAN, TEXAS, 75474
 PHONE: (903) 447-0658
 FAX: (903) 447-0931
 www.bgasurveying.com

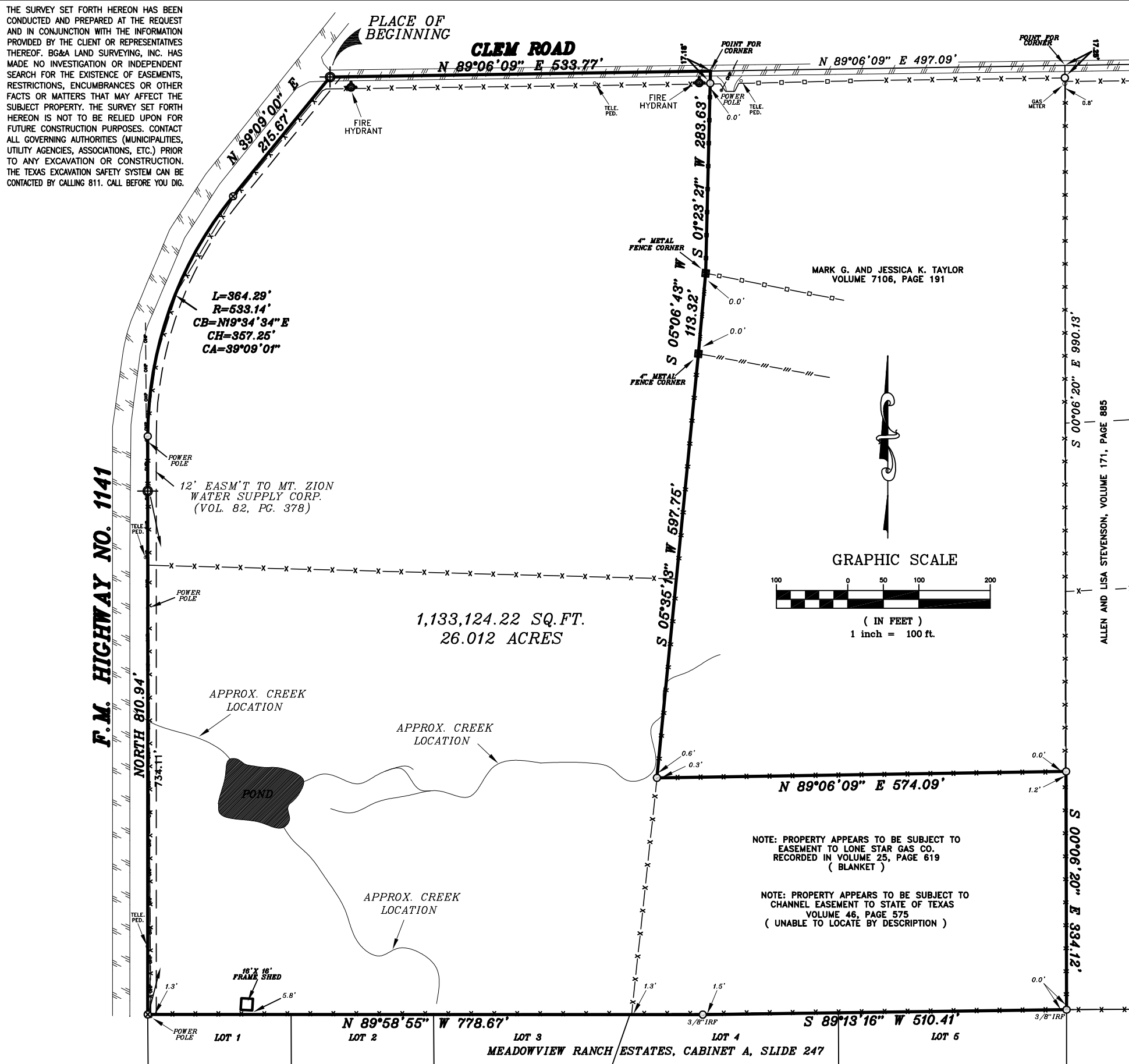
JOB NO. 1501740-2 CAD. TECH. A.OWEN

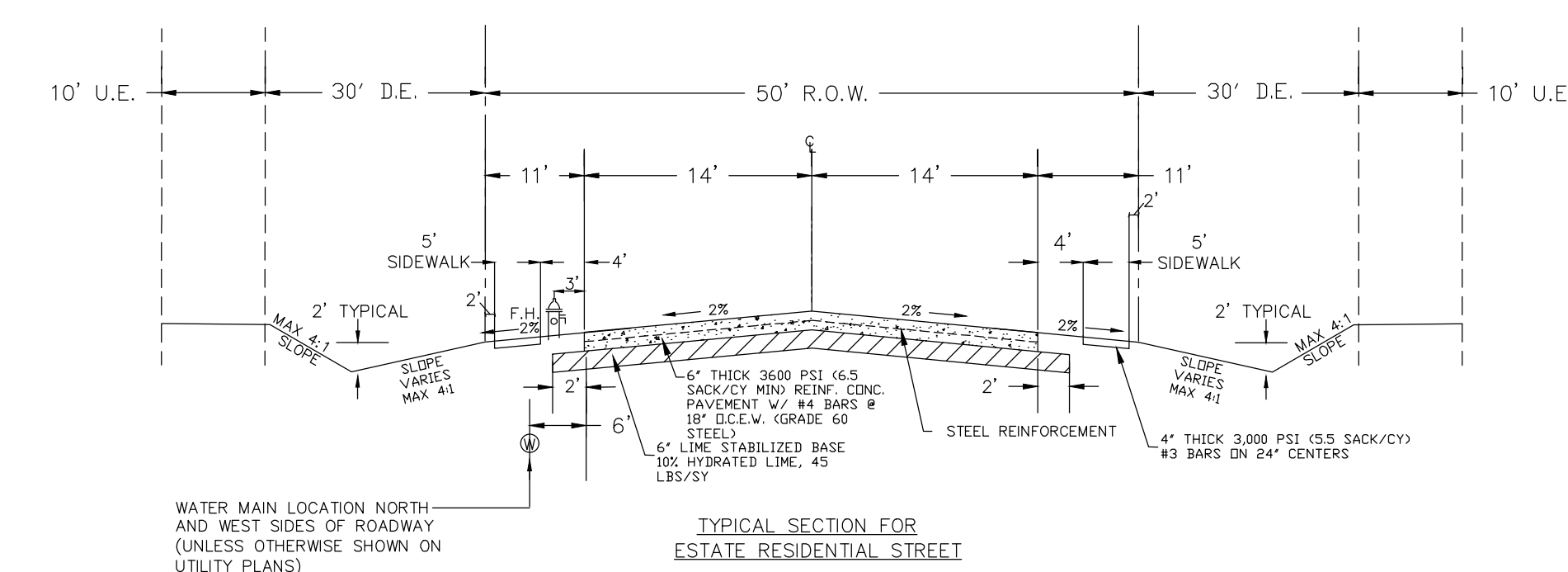
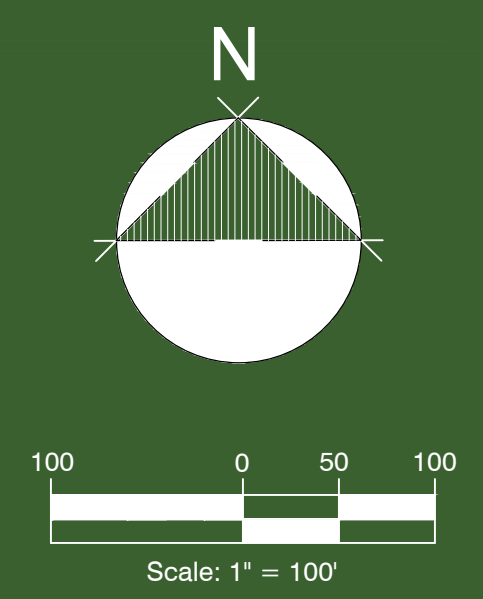
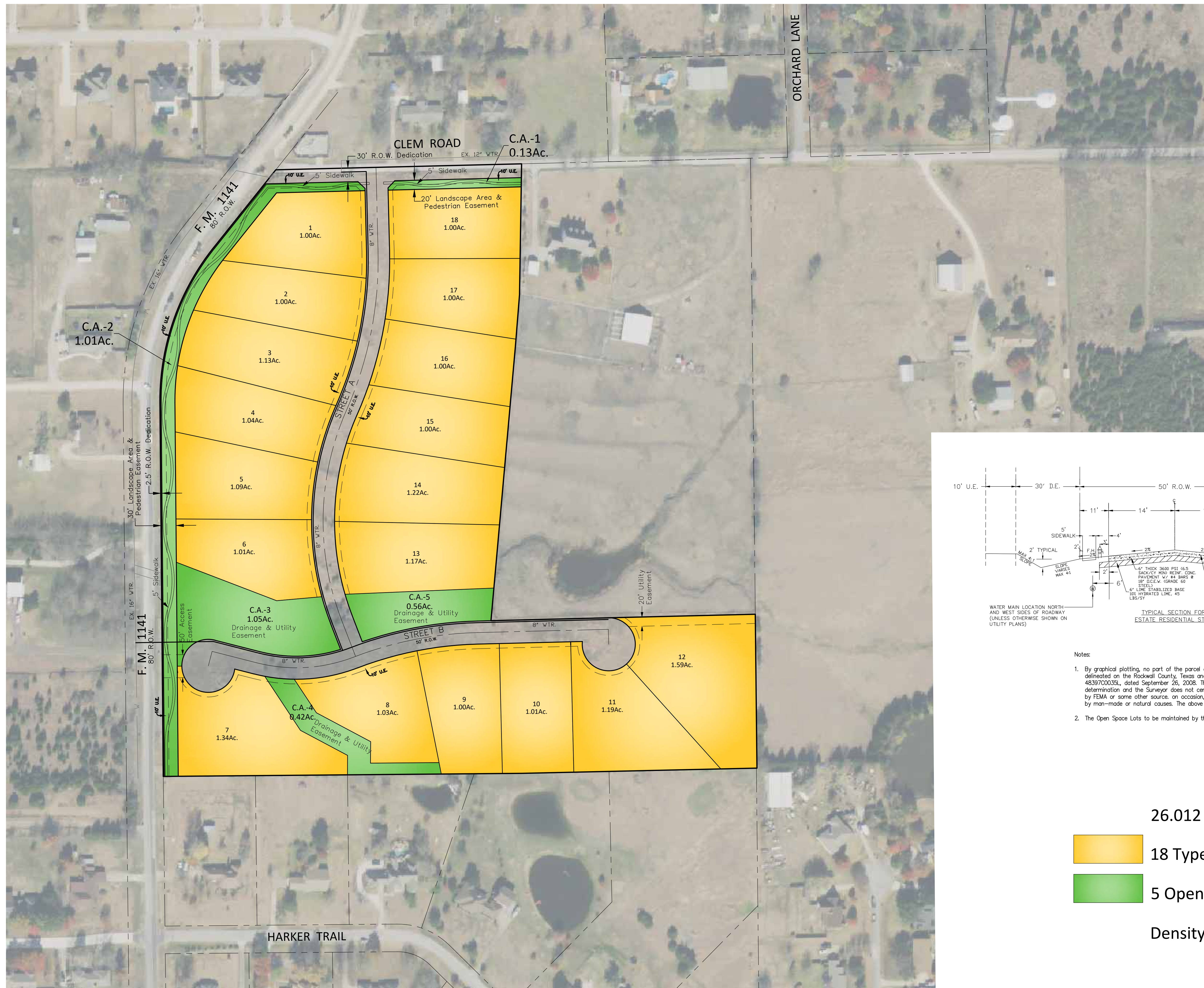
SURVEY PLAT

CLEM ROAD & F. M. HIGHWAY 1141

WILLIAM DALTON SURVEY, ABSTRACT NO. 72

ROCKWALL COUNTY, TEXAS





- Notes:
1. By graphical plotting, no part of the parcel described herein lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0035L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 2. The Open Space Lots to be maintained by the Homeowners Association (HOA).

26.012 Acres

18 Type A Lots Minimum 43,560 s.f.

5 Open Space Lots(3.17 Acres - 12%)

Density = 0.69 du/ac.

CONCEPT PLAN
WALKER ESTATES
CITY, OF ROCKWALL, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
 CIVIL ENGINEERING / PROJECT MANAGEMENT /
 201 WINDO DRIVE, SUITE 200, WILE, TX 75098
 972.941.1840 www.ecd.com fax 972.941.1841

FISCAL IMPACT ANALYSIS TOOL

ASSUMPTIONS: (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

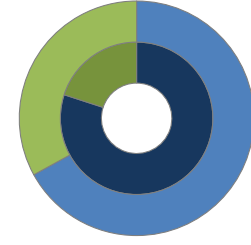
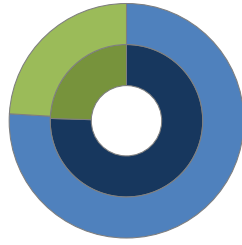
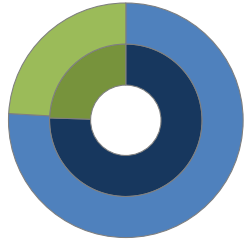
DISCLAIMER: The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

SUMMARY OF METHODOLOGY: The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

CASE NO.: Z2020-047

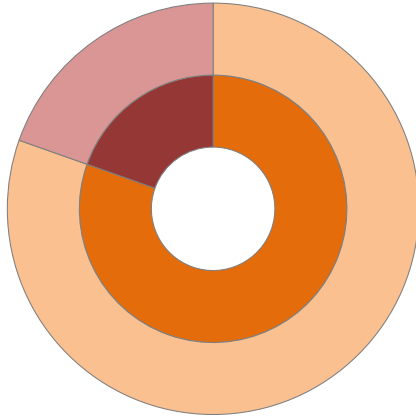
CASE NAME: Zoning Change (AG to PD) [Walker Estates]

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,934.11	75.49%	\$ 4,086,072,836.39	75.92%	10,934.11	75.49%	4,094,107,025.43	75.95%	-	0.00%	8,034,189.04	0.15%	80%	67%	-8.95%
NON-RESIDENTIAL	3,550.31	24.51%	\$ 1,296,229,067.61	24.08%	3,550.31	24.51%	1,296,229,067.61	24.05%	-	0.00%	-	0.00%	20%	33%	-8.95%
	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,484.42	100.00%	5,390,336,093.04	100.00%			8,034,189.04	0.15%	100%	100%	
OPEN SPACE	2,487.57		\$ 380,531,381.26		2,487.57		\$ 381,558,120.00								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 5,771,894,213.04								

	PRESENT			PROPOSED			CHANGE	
	ACRES	%		ACRES	%		ACRES	%
RESIDENTIAL	19,697.30	80.41%		19,697.30	80.41%		-	0.00%
NON-RESIDENTIAL	4,799.77	19.59%		4,799.77	19.59%		-	0.00%
	24,497.07	100.00%		24,497.07	100.00%			
OPEN SPACE	6,114.49			6,114.49				
TOTAL	30,611.56			30,611.56				
RESIDENTIAL	-	0.00%		-	0.00%			
NON-RESIDENTIAL	-	0.00%		-	0.00%			



FUTURE LAND USE MAP

ESTIMATED COST/REVENUES

	[A]	[B]	[C]	[B] - [C]
	Current Zoning	Current Zoning Potential @ BO	Proposed Zoning @ BO	Difference of Proposed vs. Current
BENCHMARKS				
Residential Value	\$ 540,400.00	\$ 18,417,403.14	\$ 8,034,189.04	\$ (10,383,214.10)
Non-Residential Value	\$ -	\$ -	\$ -	\$ -
Residential Acreage	26.01	26.01	26.01	-
Non-Residential Acreage	-	-	-	-
ANNUAL REVENUES				
Residential Revenues	\$ 1,999.48	\$ 68,184.33	\$ 29,726.50	\$ (38,457.83)
Non-Residential Revenues	\$ -	\$ -	\$ -	\$ -
Direct Sales Tax Increase	\$ -	\$ -	\$ -	\$ -
Indirect Sales Tax Increase	\$ -	\$ 83,143.30	\$ 21,132.85	\$ (62,010.45)
Total Revenues	\$ 1,999.48	\$ 151,327.64	\$ 50,859.35	\$ (100,468.28)
ANNUAL EXPENDITURES				
Cost of Community Service for Residential	\$ -	\$ (160,380.23)	\$ (60,142.59)	\$ 100,237.64
Cost of Community Service for Non-Resident	\$ -	\$ -	\$ -	\$ -
Total Estimated Expenditures	\$ -	\$ (160,380.23)	\$ (60,142.59)	\$ 100,237.64
EST. ANN. COST/REVENUES	\$ 1,999.48	\$ (9,052.59)	\$ (9,283.23)	\$ (230.64)
OTHER BENCHMARKS				
Additional Citizens Added to Population		203	52	(152)
Estimated Non-Resident Consumers in City		-	-	-

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 26.012-ACRE TRACT OF LAND IDENTIFIED AS TRACT 17-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has received a request from Mitchell Fleming of F2 Capital Partners, LLC, a Texas limited liability company (*formerly known as Fielding Capital, LLC*) on behalf of Reddy K. Vasundhara and Alex R. Freeman for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses, on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That the development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the zoning classification for the *Subject Property*;

SECTION 3. That the development of the *Subject Property* shall generally be in accordance

with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That the development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(i) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Preliminary Plat
 - (2) Master Open Space Plan
 - (3) PD Site Plan
 - (4) Final Plat
- (c) *Preliminary Plat.* A Preliminary Plat covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat* application may be processed concurrently with a *Master Open Space Plan* application for the development.
- (d) *Master Open Space Plan.* A *Master Open Space Plan* for the *Subject Property*, prepared in accordance with *Exhibit 'C'* of this ordinance, shall be considered for approval by the Planning and Zoning Commission and City Council (*if necessary*) following a recommendation of the Parks and Recreation Board. A *Master Open Space Plan* application may be processed concurrently with a *PD Site Plan* application for the development.
- (e) *PD Site Plan.* A *PD Site Plan* for the development shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed concurrently with a *Final Plat* application for the development.
- (f) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat* shall be submitted for approval. A *Final Plat* application may be processed concurrently with a *PD Site Plan* application for the development.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a

penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF DECEMBER, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 16, 2020

2nd Reading: December 7, 2020

Exhibit 'A':
Legal Description

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, Abstract No. 72, Rockwall County, Texas, being a part of that certain tract Lofland conveyed to Glen D. Walker and wife, Nita A. Walker, recorded in Volume 542, Page 12, Real Property Records, Rockwall County, Texas, and being described by metes and bounds as follows:

BEGINNING at a 60d nail found for corner at the intersection near the center of Clem Road and the recognized southeast line of F.M. Highway 1141, said point being the northwest corner of herein described tract;

THENCE North 89 degrees 06 minutes 09 seconds East, within said Clem Road and the recognized north line of said Walker tract, a distance of 533.77 feet to a point for corner, said point being the northeast corner of herein described tract and the northwest corner of a tract of land described in deed to Mark G. and Jessica K. Taylor, recorded in Volume 7106, Page 191, Official Public Records, Rockwall County, Texas;

THENCE South 01 degrees 23 minutes 21seconds West, along the west line of said Taylor tract, passing a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for witness at a distance of 17.18 feet and continuing for a total distance of 283.63 feet to a 4 inch metal fence corner for angle point;

THENCE South 05 degrees 06 minutes 43 seconds West, along the west line of said Taylor tract, a distance of 113.32 feet to a 4 inch metal fence corner for angle point;

THENCE South 05 degrees 35 minutes 13 seconds West, along the west line of said Taylor tract, a distance of 597.75 feet to a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for corner, said point being an inner ell corner of herein described tract and the southwest corner of said Taylor tract;

THENCE North 89 degrees 06 minutes 09 seconds East, along the south line of said Taylor tract, a distance of 574.09 feet to a 112 inch iron rod found with yellow cap stamped BG&A RPLS 5569 for corner in the west line of a tract of land conveyed to Allen and Lisa Stevenson, recorded in Volume 171, Page 885, Real Property Records, Rockwall County, Texas, said point being the southeast corner of said Taylor tract and the most southerly northeast corner of herein described tract;

THENCE South 00 degrees 06 minutes 20 seconds East along the recognized east line of said Walker tract and the west line of said Stevenson tract a distance of 334.12 feet to a 3/8 inch iron rod found for corner, the apparent northeast corner of Lot 5 of Meadowview Ranch Estates, recorded in Cabinet A, Slide 247, Plat Records, Rockwall County, Texas, said point being the recognized southeast corner of said Walker tract and the apparent southwest corner of said Stevenson tract;

THENCE South 89 degrees 13 minutes 16 seconds West, along the recognized south line of said Walker tract, a distance 510.41 feet to a 3/8 inch iron rod found for angle point;

THENCE North 89 degrees 58 minutes 55 seconds West, along the recognized south line of said Walker tract, a distance of 778.67 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 for corner in the recognized east line of said F.M. Highway 1141, said point being the southwest corner of herein described tract;

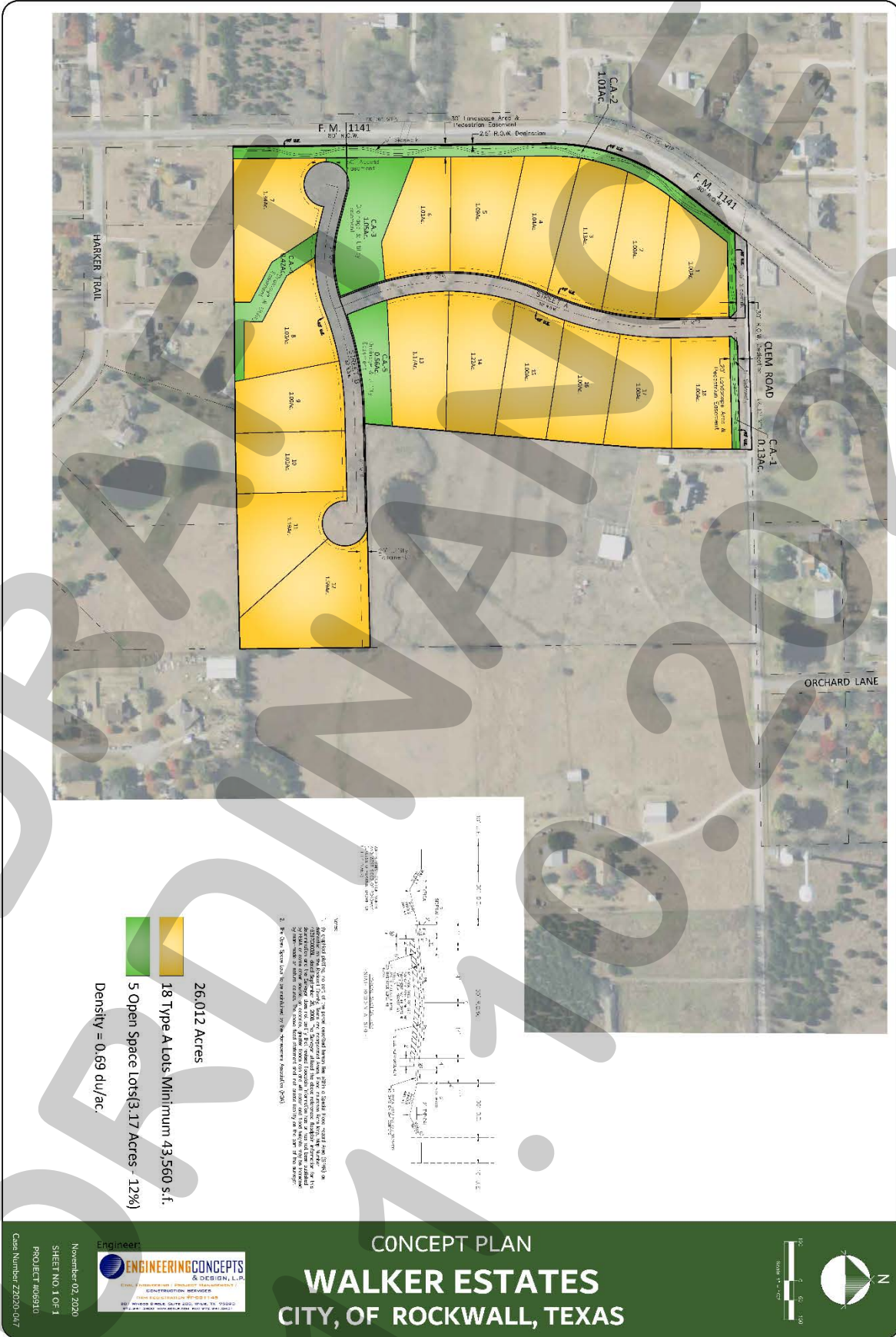
Exhibit 'A':
Legal Description

THENCE North, along the recognized east line of said highway, passing a 60d nail found on a wood highway monument for witness at a distance of 734.11 feet and continuing for a total distance of 810.94 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 at the beginning of a curve to right having a central angle of 39 degrees 09 minutes 01 seconds, a radius of 533.14 feet and a chord bearing and distance of North 19 degrees 34 minutes 34 seconds East - 357.25 feet;

THENCE along the recognized southeast line of said highway and said curve to the right an arc length of 364.29 feet to a 112 inch iron rod set with yellow cap stamped BG&A RPLS 5569 at the end of said curve;

THENCE North 39 degrees 09 minutes 00 seconds East along the recognized southeast line of said highway, a distance of 215.67 feet to the Place of Beginning and containing 1,133,124.22 square feet or 26.012 acres of land.

**Exhibit 'C':
Concept Plan**



**Exhibit 'D':
Density and Development Standards**

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	120' x 200'	43,560 SF	18	100.00%
<i>Maximum Permitted Units:</i>			18	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 0.69 dwelling units per gross acre of land; however, in no case should the proposed development exceed 18 dwelling units. All lots shall conform to the standards depicted in *Table 1*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A
Minimum Lot Width ⁽¹⁾	120'
Minimum Lot Depth	200'
Minimum Lot Area	43,560 SF
Minimum Front Yard Setback ^{(2), (5) & (6)}	50'
Minimum Side Yard Setback	25'
Minimum Side Yard Setback (Adjacent to a Street) ^{(5) & (7)}	30'
Minimum Length of Driveway Pavement	70'
Maximum Height ⁽³⁾	38'
Minimum Rear Yard Setback ⁽⁴⁾	30'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF
Maximum Lot Coverage	20%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: Flat front entry garage configurations are permitted on up to 20% of the total amount of lots provided the front yard building setback is increased to a minimum of 25-feet.
- ⁷: This includes lots that side to Clem Road or FM-1141.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façades of all buildings shall be 90% on each facade, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *FM-1141 as shown on Exhibit 'C' of this ordinance*).
- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation*. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street that is behind the front façade of the primary structure. Garages configured in a flat front entry configuration shall be allowed on a maximum of 20% of the lots provided that the front yard building setback is increased to 25-feet. All garage doors shall be required to have upgraded finishes (e.g. *divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff*) [examples of acceptable garage configurations are depicted in Figures 1 & 2]. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

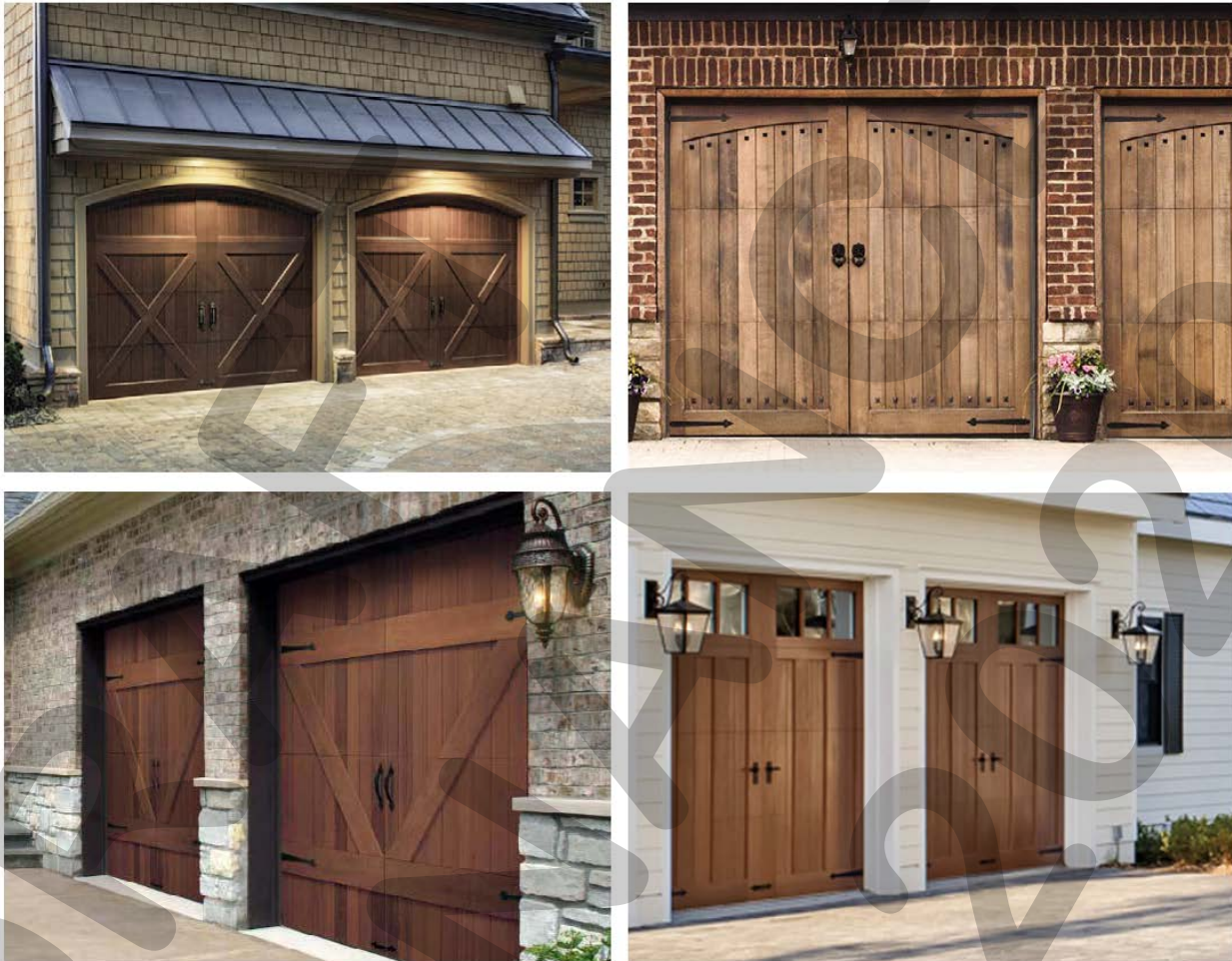
Figure 1. Examples of Upgraded Finishes



Continued on Next Page ...

**Exhibit 'D':
Density and Development Standards**

Figure 2. Examples of Acceptable Garage Enhancements



(5) Anti-Monotony Restrictions. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	120' x 200'	(1), (2), (3), (4)
B	140' x 200'	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on FM-1141 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

Exhibit 'D':
Density and Development Standards

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachments (*i.e. porch and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.



Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (a) **Wrought Iron/Tubular Steel.** All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the

Exhibit 'D':
Density and Development Standards

front building setback of any structure (*i.e. Front Yard Fences*) shall be required to be pipe-rail or a similar material, and shall be approved in accordance with the requirements of the Unified Development Code (UDC). Chain-link, wood or any type of opaque fencing shall be prohibited.

- (b) Perimeter Fencing. Lots located along the perimeter of the subdivision, abutting open spaces, greenbelts, and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences shall not exceed six (6) feet in height. All perimeter fencing for the development shall incorporate masonry columns at a maximum center spacing of 45-feet.

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) Landscape Buffer and Sidewalks. A minimum of a thirty (30) foot landscape buffer shall be provided along FM-1141 and Clem Road and shall incorporate ground cover, a *built-up* berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within and meandering through the landscape buffers.

- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

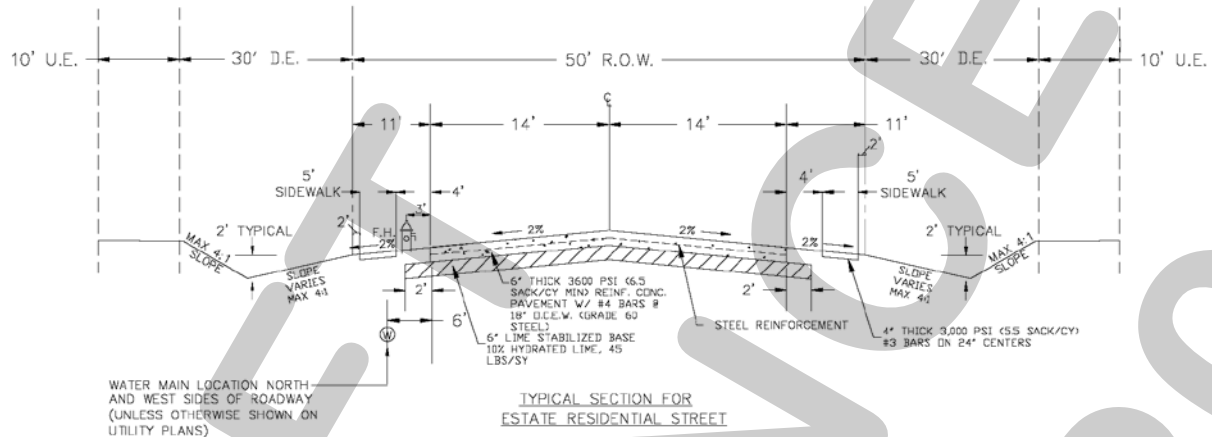
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*. Developer shall be required to install sidewalks along each street located within the Subject Property.

- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to the street standard shown on the next page in *Figure 3*.

**Exhibit 'D':
Density and Development Standards**

Figure 3: Rural-Local Roadway Cross-Section



- (9) **Lighting.** Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) **Sidewalks.** All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (11) **Buried Utilities.** New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) **Open Space.** The development shall consist of a minimum of 12.19% open space (*or 3.17-acres*), and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. All open space areas shall be maintained by the Homeowner's Association (HOA).
- (13) **Neighborhood Signage and Enhancements.** Permanent subdivision identification signage shall be permitted at all major and minor entry point(s) for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan. The final design of these areas shall be provided on the PD Site Plan.
- (14) **Homeowner's Association (HOA).** A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), irrigation,

Exhibit 'D':
Density and Development Standards

landscaping, screening fences and neighborhood signage associated with this development.

- (15) On-Site Sewage Facilities. Septic systems are permitted on all lots within this subdivision pending conformance to the following standards:
- (a) All septic systems shall be designed by a licensed on-site sewage facility (OSSF) professional (e.g., *licensed engineer, sanitarian, etc.*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a lot-by-lot basis.
 - (c) All septic systems shall be inspected and approved by the City's selected inspector.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 10, 2020
APPLICANT: Jimmy Strohmeyer
CASE NUMBER: SP2020-027; *Site Plan for Alliance Addition Phase 3*

SUMMARY

Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the intersection of Andrews Drive and Horizon Road [*FM-3097*], and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on March 17, 2004, by *Ordinance No. 04-34*. At the time of annexation, it was zoned Agricultural (AG) District. On August 16, 2004, the City Council approved *Ordinance No. 04-48* [*Case No. Z2004-024*], which rezoned the subject property -- which at this time was a portion of a larger 18.99-acre tract of land -- from an Agricultural (AG) District to Planned Development District 57 (PD-57) for Commercial (C) District land uses. On November 19, 2007, the City Council approved a final plat [*Case No. P2007-032*] for the Alliance Addition, Phase 2, which platted the subject property as Lot 11, Block 1, Alliance Addition, Phase 2. On January 10, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2016-036*] for a 21,200 SF multi-tenant, retail building on the subject property. This site plan expired on January 10, 2019 due to inactivity in accordance with Subsection 03.05(A) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In response to this expiration, the applicant resubmitted the site plan on October 16, 2020.

PURPOSE

The applicant is requesting the approval of a site plan for a 21,200 SF multi-tenant, retail building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located the southeast corner of in the intersection of Andrews Drive and Horizon Road [*FM-3097*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the intersection of Alliance Drive and Andrews Drive, which both roadways are identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) vacant parcels of land zoned Planned Development District 57 (PD-57) for Commercial land uses. North of this is Jeff Boyd Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the corporate limits of the City of Rockwall. Beyond this is Horizon Road [*FM-3097*], which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) parcels of land zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. Beyond this S. FM-549, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are several larger tracts of land zoned Agricultural (AG) District.

West: Directly west of the subject property is Andrews Drive, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) lots that are zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. Beyond this is Horizon Road [FM-3097], which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the corporate limits of the City of Rockwall followed by areas situated in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall.

DENSITY AND DIMENSIONAL REQUIREMENTS

The proposed 21,200 SF multi-tenant, retail building will be one (1) story, and be constructed of a combination of stone, brick, and stucco. The subject property will be accessible via Alliance Drive and Andrews Drive, and not have direct access onto Horizon Road [FM-3097]. With the exception to the articulation requirements, the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within Planned Development District 57 (PD-57). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
Minimum Lot Area	10,000 SF	96,000 SF; <i>In Conformance</i>
Minimum Lot frontage	60-Feet	X > 60-Feet; <i>In Conformance</i>
Minimum Lot Depth	100-Feet	X > 100-Feet; <i>In Conformance</i>
Minimum Front Yard Setback	15-Feet	X > 15-Feet; <i>In Conformance</i>
Minimum Rear Yard Setback	10-Feet	X > 10-Feet; <i>In Conformance</i>
Minimum Side Yard Setback	10-Feet	X > 10-Feet; <i>In Conformance</i>
Maximum Building Height	60-Feet	27-Feet; <i>In Conformance</i>
Max Building/Lot Coverage	60%	22%; <i>In Conformance</i>
Minimum Masonry Requirement	0%	100%; <i>Compensatory Measure</i>
Minimum Number of Parking Spaces	85	94; <i>In Conformance</i>
Minimum Stone Requirement	0%	46%; <i>Compensatory Measure</i>
Minimum Landscaping Percentage	20%	22.4%; <i>In Conformance</i>
Maximum Impervious Coverage	85-90%	78%; <i>In Conformance</i>

TREESCAPE PLAN

The landscape plan submitted by the applicant with the site plan does not indicate whether the site has any protected trees that require mitigation. Staff has requested that the applicant provide a Treescape Plan; however, the applicant was not able to provide the Treescape Plan prior to the Planning and Zoning Commission meeting. As a result, staff has added a condition of approval requiring the applicant to provide a Treescape Plan prior to submitting engineering plans.

CONFORMANCE WITH THE CITY’S CODES

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following exception:

- (1) *Articulation*. According to Subsection 04.01(C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) primary building façade is any building façade that has a primary entryway for a

business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property.” In addition, this section requires that wall projections on a primary façade must be a minimum of 25% of the wall height. In this case, the applicant is proposing wall projections that are less than the required 25% along all primary facades.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship.” In addition, the code requires that applicant’s provide compensatory measures that directly offset the requested exception. In this case, the applicant has stated that this site plan had been previously approved and that it would be costly to redesign the form of the building to meet the current codes; however, as a compensatory measure the applicant is proposing to utilize 100% masonry materials on the buildings and incorporating 46% is stone (*which is 26% greater than what is required in the City’s overlay districts*). With this being said, requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is located within the Southwest Residential District. This district is primarily composed of a medium to low density single-family housing and supporting commercial and industrial development nodes. The district’s residential areas consist of suburban residential subdivisions (*e.g. Windmill Ridge and Lynden Park Estates Subdivisions*) and estate style, residential subdivisions (*e.g. Oaks of Buffalo Way Subdivision*). The Southwest Residential District also incorporates commercial and industrial land uses along Sids and Mims Road, and three (3) nodes along Horizon Road [FM-3097]. The Southwest Residential District also includes a transitional area along Ranch Road, which is in the process of moving towards more permanent structures with conforming land uses. The subject property is zoned Commercial (C) District, and the applicant’s request appears to be in conformance with Future Land Use Plan and the District Strategies outlined for the Southwest Residential District as stipulated in the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On October 27, 2020, the Architecture Review Board (ARB) reviewed the proposed building elevations, and made a motion to recommend approval of the elevations with the condition that the arched element on the western elevation be flattened. This motion passed by a vote of 5-0, with Board Members Neill and Mitchell absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s request for a site plan for multi-tenant, retail building, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The Architecture Review Board (ARB) is requesting the applicant to flatten the arched parapet on the west elevation;
- (3) The applicant shall provide a Treescape Plan showing conformance to the mitigation requirements prior to submitting engineering plans; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. SP2020-027

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address PD 57

Subdivision ALLIANCE ADDITION PHASE 2 Lot 8 & 11 Block 1

General Location HORIZON ROAD - FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District Current Use

Proposed Zoning Planned Development District Proposed Use

Acreage 2.22 ACRES Lots [Current] 2 Lots [Proposed] 1

[] **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 112.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>N & H LEGACY</u>	<input checked="" type="checkbox"/> Applicant	<u>STROHMEYER ARCHITECTS INC</u>
Contact Person	<u></u>	Contact Person	<u>JIMMY STROHMEYER</u>
Address	<u>PO BOX 818</u>	Address	<u>2701 SUNSET RIDGE</u>
	<u></u>		<u>SUITE 607</u>
City, State & Zip	<u>TERRELL, TEXAS 75060</u>	City, State & Zip	<u>ROCKWALL, TEXAS 75032</u>
Phone	<u></u>	Phone	<u>214-497-2057</u>
E-Mail	<u></u>	E-Mail	<u>jimmy@strohmeyearchitects.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jimmy Strohmeyer [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

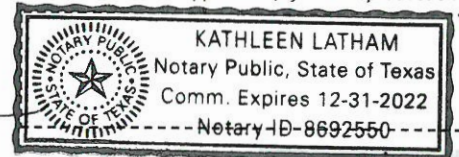
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 294.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of October, 20 20. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of October, 20 20.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

[Signature]
Kathleen Latham



My Commission Expires 12-31-2022



SP2020-027- SITE PLAN FOR ALLIANCE ADDITION PHASE 2
SITE PLAN - LOCATION MAP =

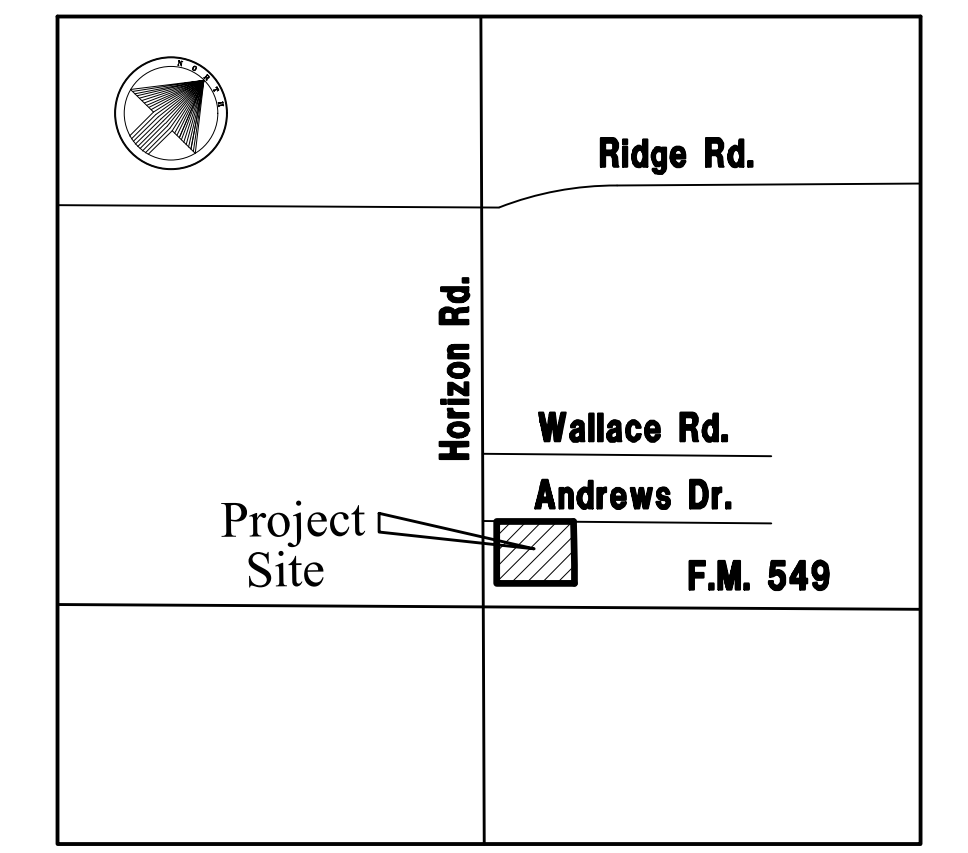
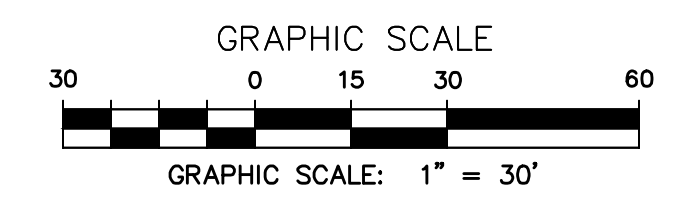
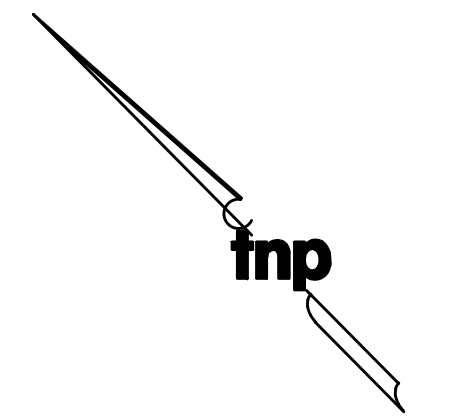


City of Rockwall

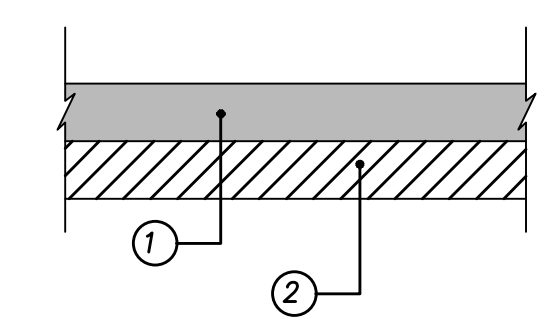
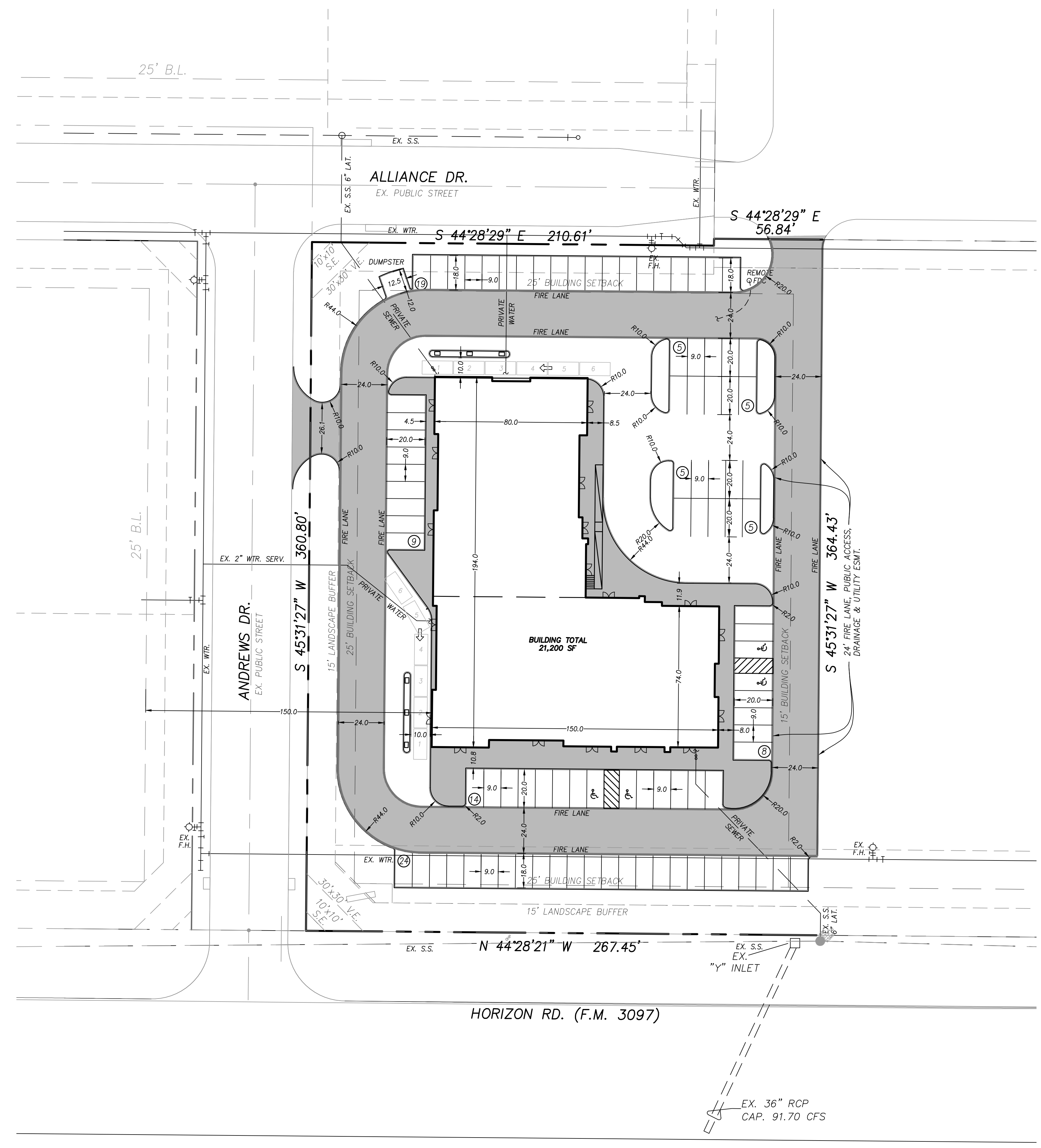
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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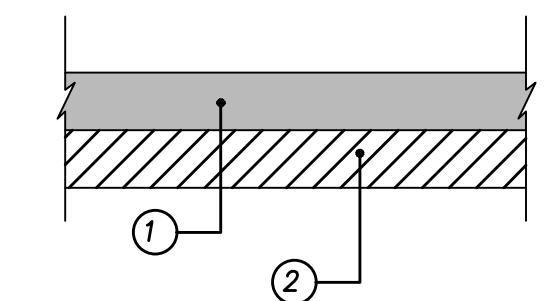


LOCATION MAP



FIRE LANE PAVEMENT SECTION NTS

- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



PARKING AREA CONCRETE PAVEMENT SECTION NTS

- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

SITE INFORMATION	
LAND AREA:	2.22 ACRES (96,700 S.F.)
CURRENT ZONING:	PD-57
EXISTING USE:	UNUSED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	± 21,200 S.F.
BUILDING HEIGHT:	27
BUILDING TO LOT COVERAGE:	21,200/96,700=21.9% → 21.9%
BUILDING REQUIRED PARKING:	COMMERCIAL: 1/250 S.F = 85 SPACES
BUILDING PARKING PROVIDED:	94
IMPERVIOUS AREA:	75,076 S.F.
LANDSCAPE AREA REQUIRED:	22.4% OF TOTAL SITE
LANDSCAPE AREA PROVIDED:	21,624

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2020.
 Witness our hands this ____ day of _____, 2020.
 Planning & Zoning Commission, Chairman _____ Director of Planning & Zoning _____

CASE NUMBER: SP2016-036

Drawing: P:\06_FCOony\Projects\6-Commercial\Rockwall Noe - Alliance\1-DRAWINGS\1-DESIGN-CURRENT\04 - SITE PLAN.dwg at Oct 16, 2020 11:07am by cslom

no.	revision	by	date



teague nall and perkins, inc
 825 Walters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnpsc.com
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381

Cameron A. Slowinski
 10/16/2020

scale
 when bar is 1 inch long
 horiz 1"=30"
 vert N/A
 OCT 2020

ROCKWALL, TEXAS
 Improvements for
ALLIANCE ADDITION NO. 3
SITE PLAN

tnp project
 sheet
 1
 of
 1

1 2 3 4 5

Randall Noe Alliance Addition
Elevation Calculations

Elevation	Stone	Brick	Stucco	Total	Stone %	Brick %	Stucco %
WEST	859	1,409	460	2,728	31.49%	51.65%	16.86%
SOUTH	1,479	1,262	719	3,460	42.75%	36.47%	20.78%
EAST	2,605	1,450	221	4,276	60.92%	33.91%	5.17%
NORTH	1,507	617	1,375	3,499	43.07%	17.63%	39.30%
Total	6,450	4,738	2,775	13,963	46.19%	33.93%	19.87%



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

Project Number:
Drawing Date: 12/15/16
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Revisions:

Sheet Title:

**EXTERIOR
ELEVATIONS**

A-201



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 2 3 4 5

1 2 3 4 5

D

C

B

A



STROHMEYER
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FC GUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
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FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
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SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY
APPROVAL



**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

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Revisions:

Sheet Title:
**EXTERIOR
RENDERINGS**

A-202

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SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035

MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

**FOR REGULATORY
APPROVAL**

**RANDALL NOE
ALLIANCE ADDITION
ROCKWALL, TEXAS**

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**EXTERIOR
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ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

Concept Design

Project Number:

Drawing Date: 6/1/16

Drawn:

Checked:

Scale:

ACAD File: HeathPlaza0462116-A201.dwg

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Revisions:

Sheet Title:

**COLOR
BOARD**



AUSTIN STONE



ACME FRENCH VANILLA



**PLASTER - MATCH
FRENCH VANILLA**



**DARK
BRONZE**



ACME CRANBERRY

D

C

B

A

1

1

2

1

3

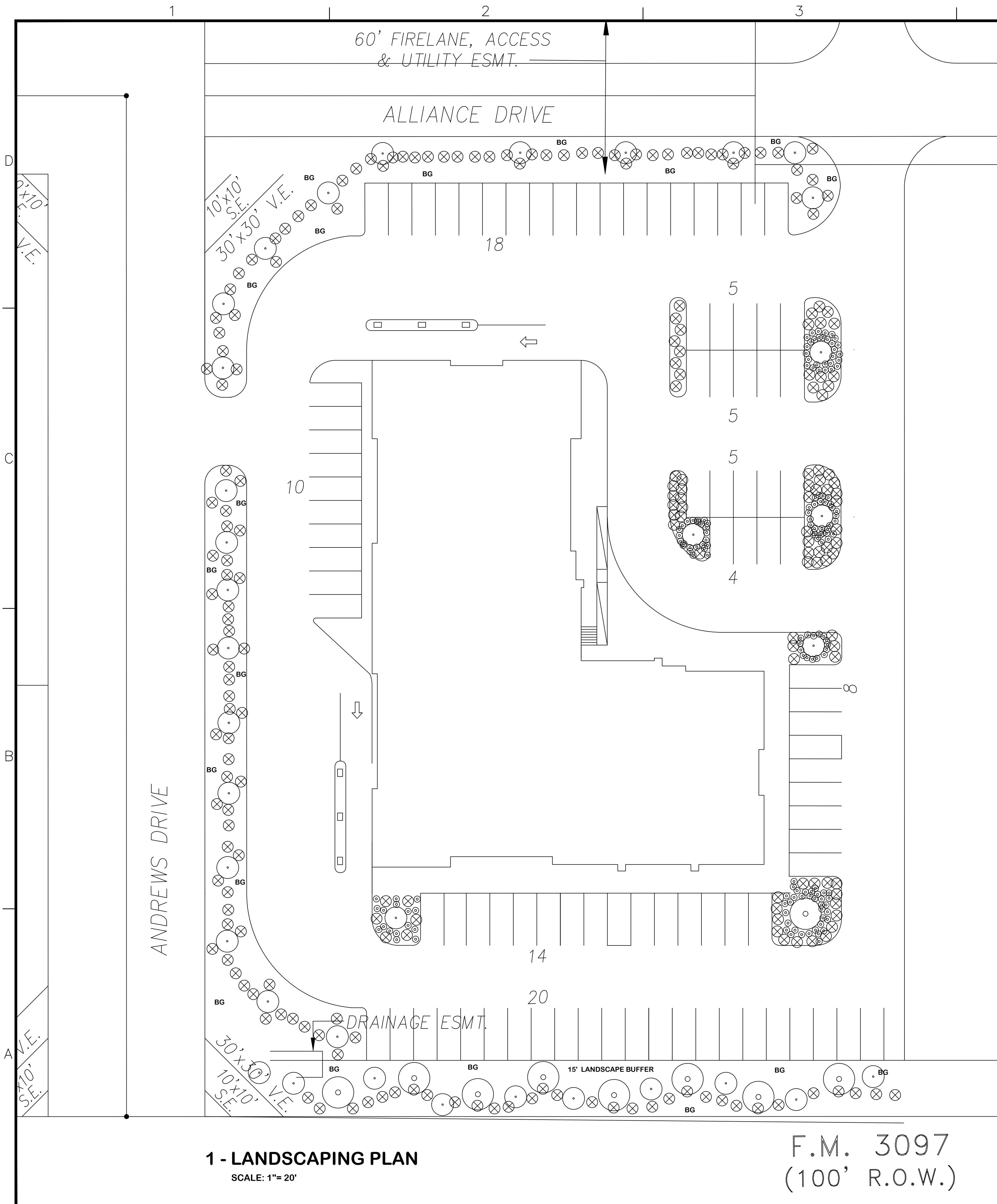
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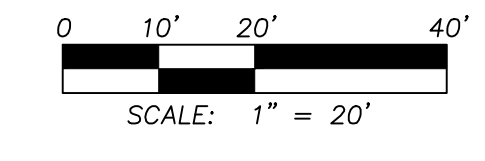
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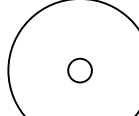
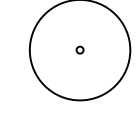
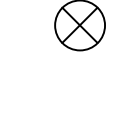




1 - LANDSCAPING PLAN
SCALE: 1" = 20'

F.M. 3097
(100' R.O.W.)



LEGEND

-  CANOPY TREE
-  ORNAMENTAL (ACCENT) TREE
-  SHRUB
-  GROUND COVER
-  PERENNIAL
- BG** BERMUDA GRASS

LANDSCAPING GENERAL REQUIREMENTS

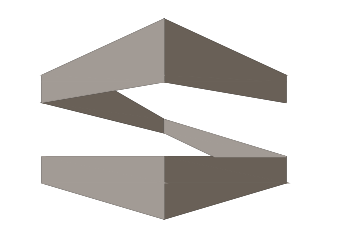
COMMERCIAL / RETAIL
SITE AREA = 100,500 S.F.
LANDSCAPING AREA PROVIDED = 21,624 S.F.
LANDSCAPING AS PERCENTAGE OF TOTAL SITE = 22%

LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFIED DEVELOPMENT CODE.

SITE LANDSCAPING SCHEDULE:

1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINQUAPIN OAK, BURR OAK. 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN PLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPON, DECIDUOUS YAUPON. 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.



STROHMEYER
ARCHITECTS INC.

Consultants:
CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
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12575 MILL RUN DRIVE
FRISCO, TEXAS 75035
MEP
HES CONSULTING ENGINEERS
3102 MAPLE AVE
SUITE 450
DALLAS, TEXAS 75201

FOR REGULATORY APPROVAL

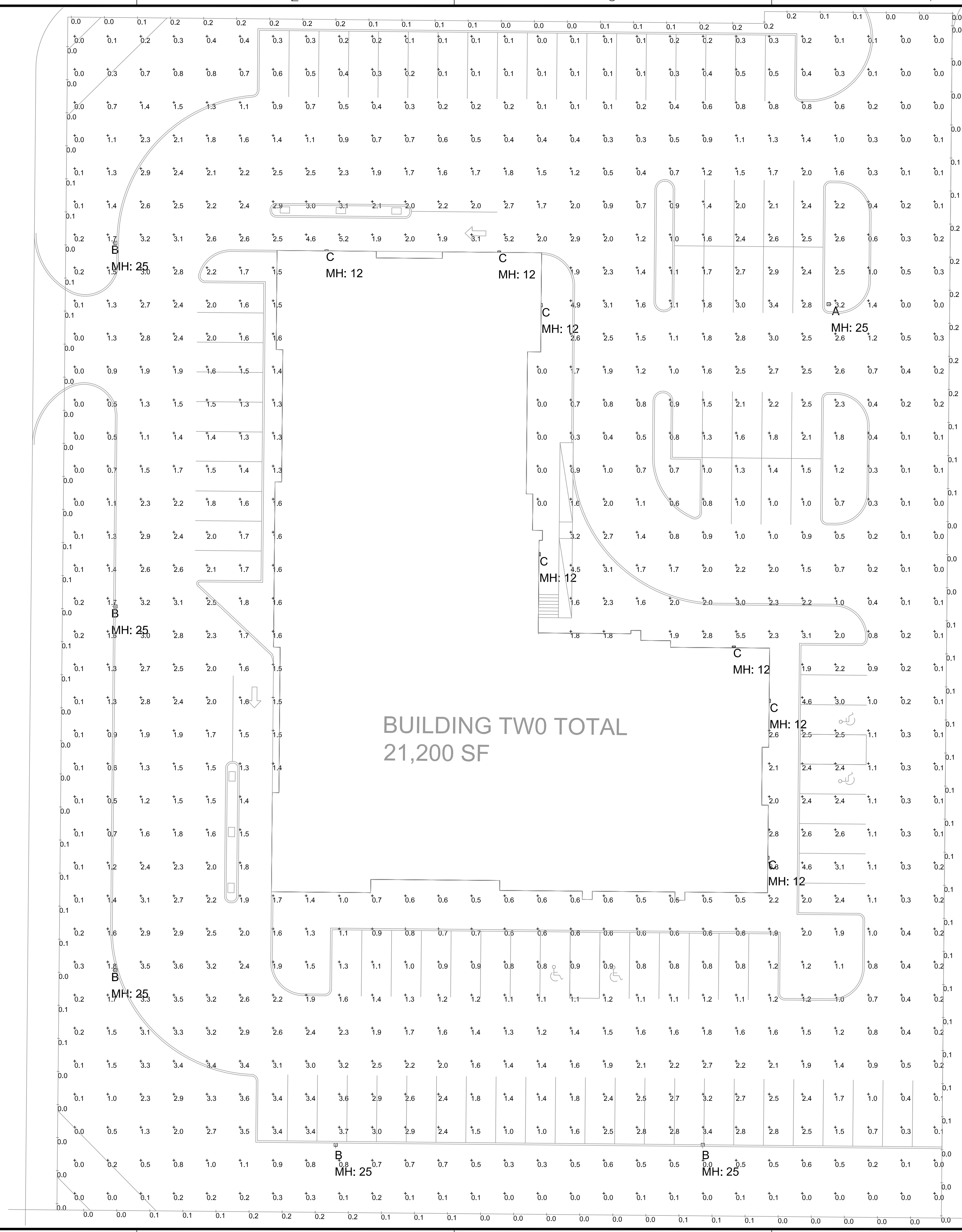
RANDAL NOE ALLIANCE ADDITION ROCKWALL, TEXAS

Project Number:
Drawing Date: 12/15/16
Drawn:
Checked:
Scale:
ACAD File: Alliance Addition-010417-LS101.dwg
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Revisions:

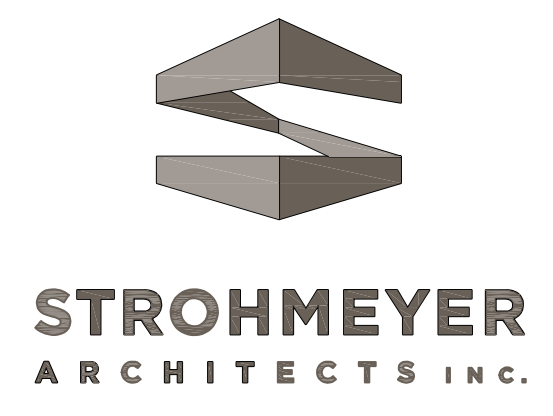
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LANDSCAPING PLAN
LS-101

Jan 09, 2017 - 2:59pm User: HES007 C:\Users\HES007\HES\HES Team Site - 2016\160046 Randall Noe Alliance\08 DWG\E101.dwg



GENERAL NOTES
 1. MOUNTING HEIGHTS SHOWN ON PLAN AS MH: ...

Luminaire Schedule					
Symbol	Qty	Label	Manufacturer / Catalog Number	Lum. Watts	Total Watts
☐	1	A	GLEON-AF-03-LED-E1-T3	166	166
☐	5	B	GLEON-AF-03-LED-E1-SL4-HSS	166	498
☐	7	C	IST-E02-LED-E1-BL4	46.9	328.3



Consultants:
 CIVIL
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 STRUCTURAL
 DFW STRUCTURAL CONSULTING
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ISSUE FOR PERMIT



**RANDAL NOE
 ALLIANCE ADDITION
 ROCKWALL, TEXAS**

Project Number:
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Revisions:

1 SITE PLAN - LIGHTING
 E1.01 1/16" = 1'-0"



Sheet Title:
 SITE PLAN LIGHTING
E1.01